



Proposed indicative artist impression of housing streetscape. All landscape features are indicative only. Refer to landscape consultants documentation package for landscape design & plant species selection.

RIVERLANDS SITE 3B

STAGE 1 - SITE 3B
LOTS: 3-041 - 3-062

Sheet No.	Sheet Name	Revision
000	COVER SHEET	C
050	LOCALITY & SITE ANALYSIS PLAN	B
100	SUBDIVISION PLAN	B
101	LOT LAYOUT & SITING PLAN	B
110	EROSION & SEDIMENT CONTROL PLAN	B
120	HYDRAULIC CONCEPT PLAN	B
210	GROUND FLOOR PLAN - Lot 3-041 - 3-062	C
220	FIRST FLOOR PLAN - Lot 3-041 - 3-062	C
230	ROOF / FIRE RATED EAVES PLAN	B
250	ELEVATIONS - LOTS 3-041 - 3-042	B
251	ELEVATIONS - LOTS 3-051 - 3-062	B
260	COLOURED STREETSCAPES	B
270	SECTIONS	B
290	NEIGHBOURING NOTIFICATION PLANS	B
401	SHADOW ANALYSIS & SHADOW PLAN 22 SEPT - 9AM 12PM 3PM	B
410	SUN EYE VIEW - 21 JUNE - 8 / 9AM	B
411	SUN EYE VIEW - 21 JUNE - 10 / 11AM	B
412	SUN EYE VIEW - 21 JUNE - 12 / 1PM	B
413	SUN EYE VIEW - 21 JUNE - 2 / 3PM	B
414	SUN EYE VIEW - 21 JUNE - 4PM	B
420	PRIVATE OPEN SPACE AND PERMEABLE AREA PLAN	B
430	FSR / GFA GROUND & FIRST FLOOR AREA PLAN - Lot 3-041 - 3-062	B
720	BASIX REQUIREMENTS	B
800	TYPICAL DETAILS	B



05.05.2025	C	ISSUED FOR DA - AREAS UPDATED WITH BALCONIES	
01.04.2025	B	ISSUED FOR DA	
17.03.2025	A	ISSUED FOR BASIX ASSESSMENT	
686	REV		amendment

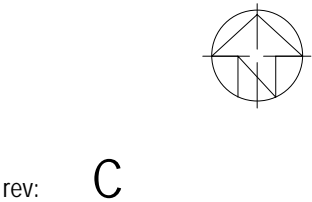
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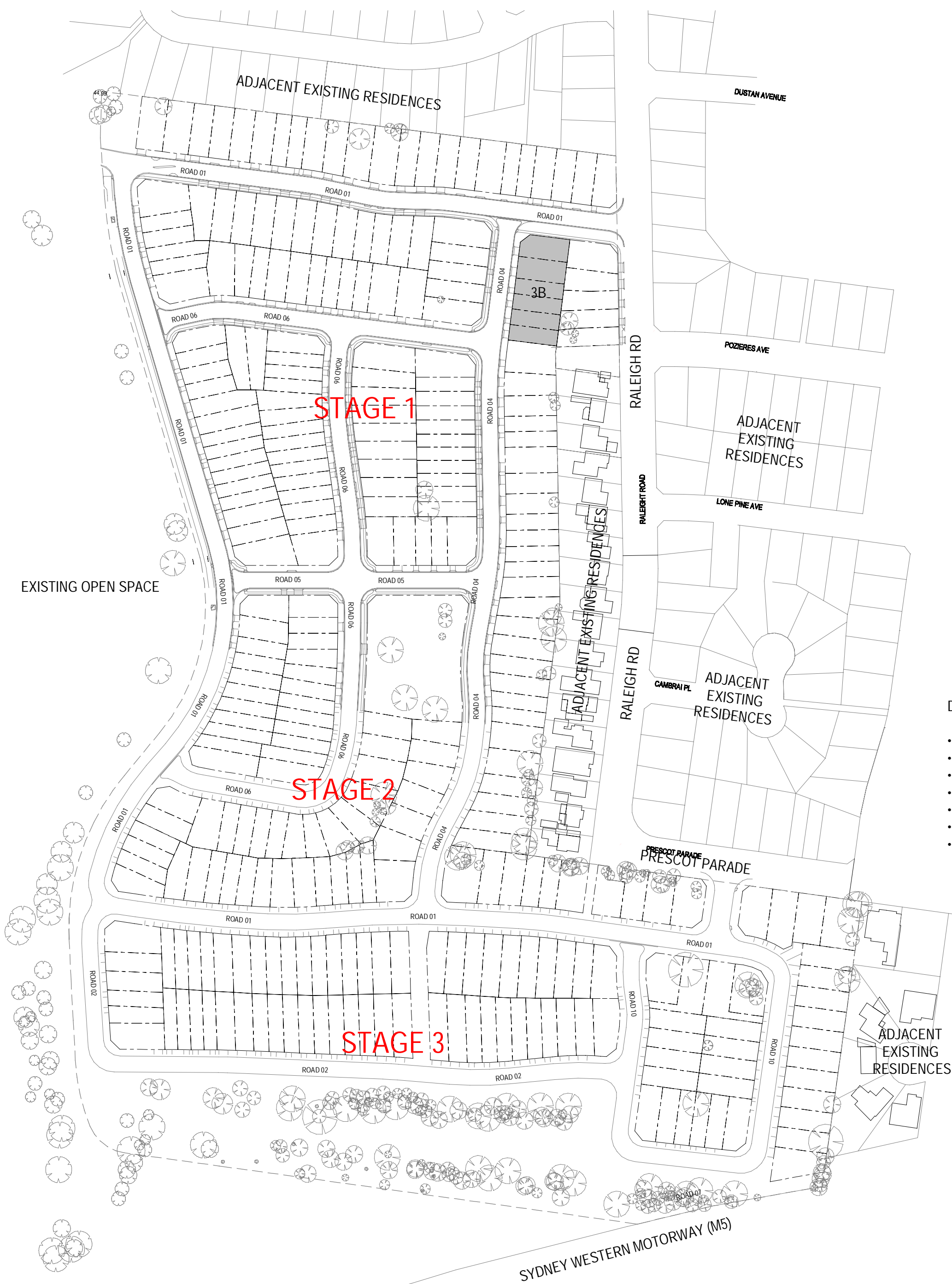
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RIVERLANDS - MILPERRA
Address: 56 Prescot Parade, Milperra NSW 2214
Stage: 1 Site: 3B Lot:
Model Type:

title:
COVER SHEET

job no: MB-10245
drawing no: 000
scale @ A1 : 1 : 5000
date: 05.05.2025



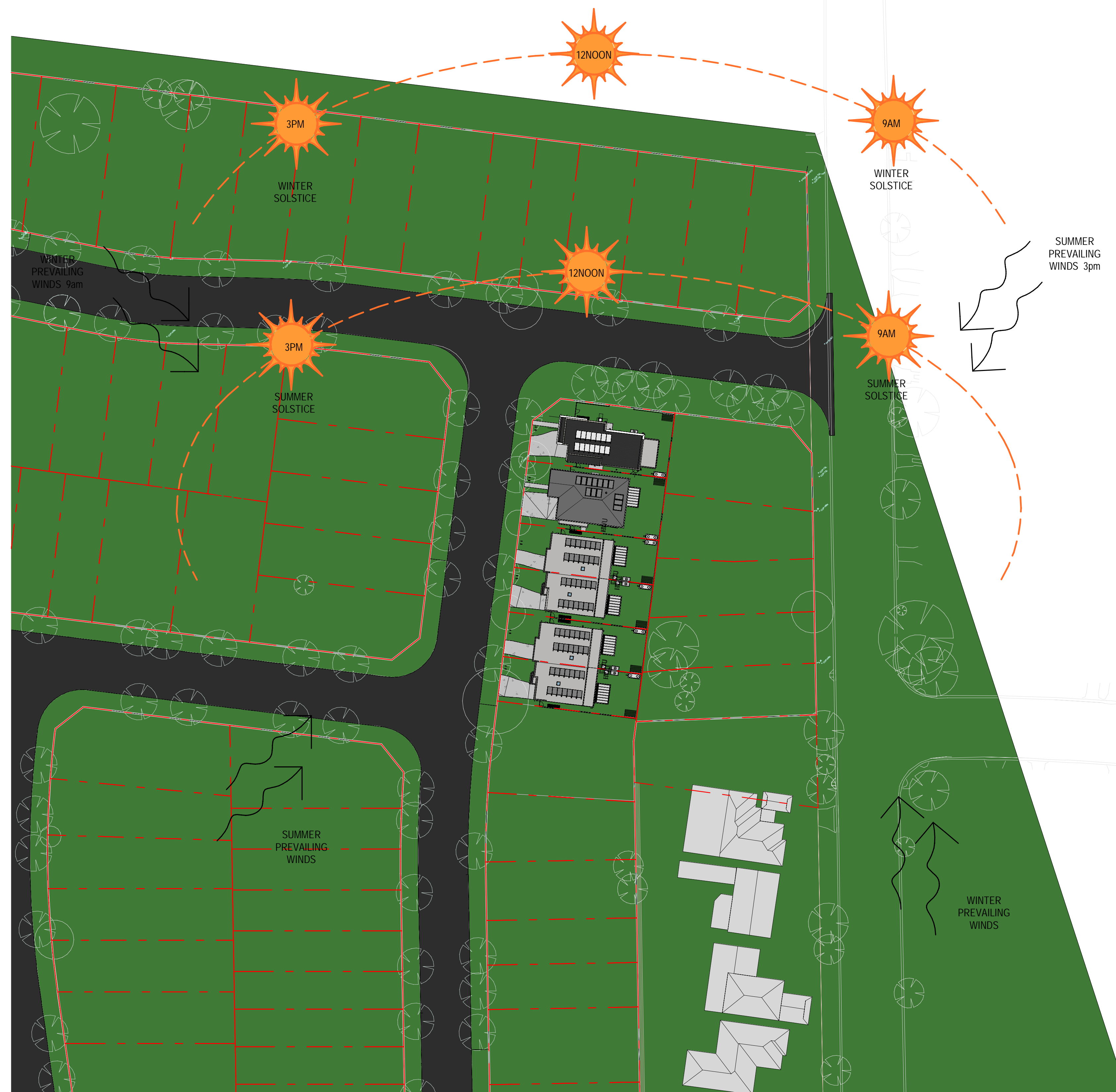
rev: C



DISTANCES TO NEARBY LANDMARKS

- Milperra Public School - Approx 10 min walk
- East Hills Technology Highschool - Approx 9 min drive
- Liverpool Westfields - Approx 20 min drive
- Sydney City CBD - Approx 30 mins drive
- Parramatta City CBD - Approx 30 min drive
- East Hills Train Station - Approx 7 min drive
- Brighton Lakes Golf Club - Approx 10 min drive

1 LOCALITY PLAN
1 : 2000



2 SITE ANALYSIS
1 : 500

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100mm

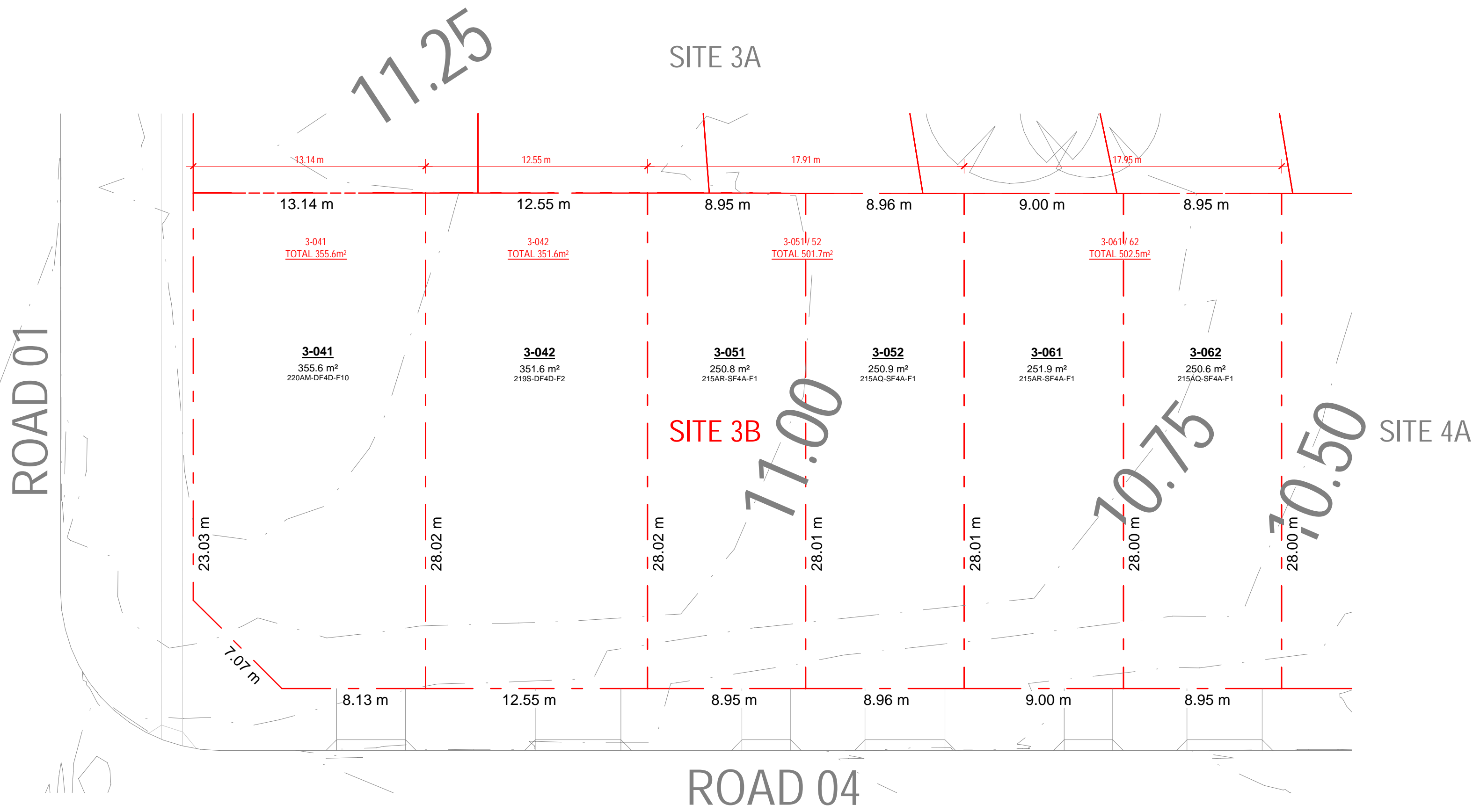
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100mm

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300mm



1 SUBDIVISION PLAN - 3-041 - 3-062
1 : 200

NOTE:

- VEHICLE CROSSINGS SHOWN ARE INDICATIVE ONLY. PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATIONS AND DIMENSIONS.
- REFER TO CIVIL ENGINEERING SET ADDITIONAL INFORMATION ON BOUNDARIES AND LOT LAYOUT

01.04.2025	B	ISSUED FOR DA	
17.03.2025	A	ISSUED FOR BASIX ASSESSMENT	
6/6/	REV		amendment

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client:
RIVERLANDS - MILPERRA
Address: 56 Prescott Parade, Milperra NSW 2214
Stage: 1 Site: 3B Lot:
Model Type:

title:
SUBDIVISION PLAN

job no: MB-10245
drawing no: 100
scale @ A1 : 1 : 200
date: 01.04.2025 rev: B

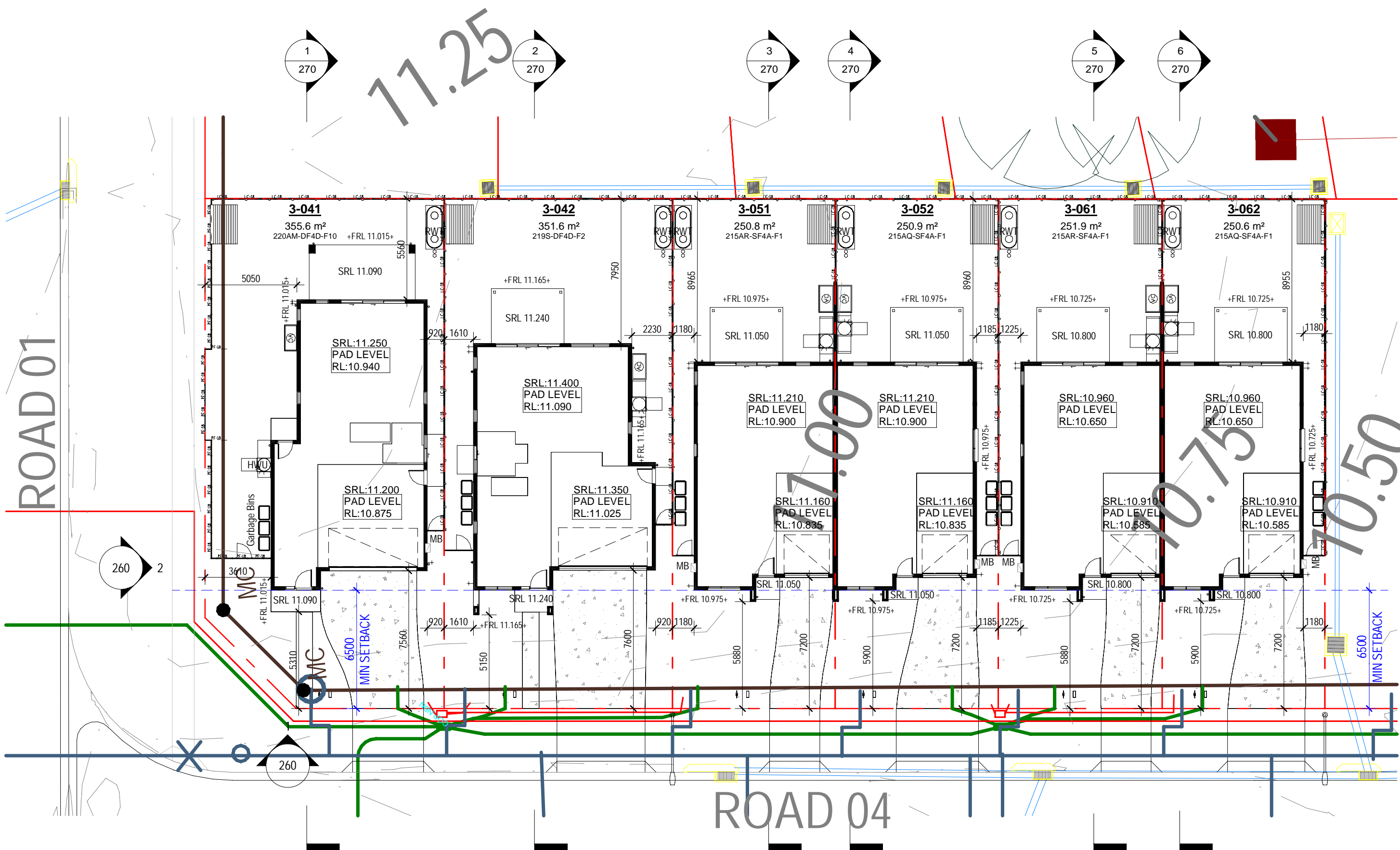


0mm 100mm 200mm 300mm

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200mm

300mm



1 SITE PLAN - Lot 3-041 - 3-062
1:200

NOTE:
PROPOSED HOUSE SRL'S CALCULATED ON AUSTRALIAN
STANDARDS DRIVEWAY GRADES. FROM THE PROPOSED ROAD
RL'S (MIN 2%) TO THE EXISTING GROUND LEVELS AT REAR
WHERE TREES TO BE RETAINED
BENCHING PLAN IS BASED ON DESIGN LEVELS ONLY, AND
SUBJECT TO REVIEW OF "WORKS AS EXECUTED" DRAWINGS
ONCE THEY ARE RECEIVED

SITework LEGEND	
SERVICES	
HWO	HOT WATER UNIT
G	GAS METER UNDER
G	GAS METER
MB/OW	METER BOX / OPTICAL NETWORK UNIT
CB	CABLE TV BOX
HC	GARDEN TAP
B	BINS
OWT	RAIN WATER TANK
HYD	HYDRANT
WM	WATER METER
SV	STOP VALVE
AC	A/C CONDENSER UNIT
CIVIL SERVICES	
LV	LV PILLAR (URD TYPE)
ST	SUBSTATION
SL	STREET LIGHT
TF	TELSTRA FIT
CT	CATV FIT
GP	GROSS POLLUTANT TRAP
GL	GULLY FIT
SW	STORMWATER FIT
PS	PROPOSED SEWER MANHOLE
PS	PROPOSED SEWER
PS	PROPOSED WATER
PS	PROPOSED GAS
PS	PROPOSED COMMS
PS	PROPOSED ELECTRICAL DUCT ROUTE
PS	PROPOSED STORMWATER PIPE
PS	PROPOSED ELECTRICAL SERVICE CABLE
RETAINING WALLS/ FENCES	
LB	LETTER BOX
LB	RETAINING WALL LOW HEIGHT BRICK PIER & BRICK PANEL FENCE RETAINING FENCE 1800 HIGH TIMBER BATTENS ON BOTH SIDES OF TIMBER POSTS (STAGGERED)
FSW	FRATUOUS STONE WALL
AB-18	1800 HIGH VERTICAL METAL BATTENS
BT-18	1800 HIGH VERTICAL BATTENS
LC-18	1800 HIGH TIMBER LAPPED & CAPPED FENCE
LC-15	1800 HIGH TIMBER LAPPED & CAPPED FENCE
AB-11	1100 HIGH ANGLE BLADE FENCE
PF-18	1800 HIGH VERTICAL PICKET FENCE
PF-15	1500 HIGH VERTICAL PICKET FENCE
BRW	200 WIDE BRICK RETAINING WALL 900mm Max. Height (Rendered & Painted)
LOS-SL	LOS SLEEPER RETAINING WALL
BC-SL	BRICK CONCRETE SLEEPER WALL
BL	BLOCK WORK RETAINING WALL
DEB	DROP EDGE BEAM
WW	WET WALL
BRW	BLOCK WORK FEATURE RETAINING WALL
SF	SEDIMENT FENCE
STOCK PILE	STOCK PILE
SR	STRUCTURAL RELATIVE LEVEL
EG	EXISTING GROUND LEVEL
FR	FINISHED RELATIVE LEVEL
FR	LEVEL AT TOP OF RETAINING WALL
FR	LEVEL AT BOTTOM OF RETAINING WALL
BL	BULK EARTHWORKS LEVEL
FR	FINISHED LANDSCAPE, DRIVEWAY, SLAB AND KERB LEVELS UP TO 150mm ABOVE BULK EARTHWORKS LEVEL
SETOUT POINT	SETOUT POINT
BATT (MAX 10%)	BATT (MAX 10%)
WALL MOUNTED CLOTHES LINE	WALL MOUNTED CLOTHES LINE
NOTE:	EASEMENT TO DRAIN WATER 1.5m WIDE EASEMENT TO DRAIN WATER EASEMENT FOR SERVICES AND RIGHT OF ACCESS EASEMENT FOR MAINTENANCE & OVERHANG 1.0m WIDE DOWNPIPES CONNECTED TO COUNCIL STORMWATER SYSTEM IN RESPECT TO PROPOSED RETAINING WALLS, CONFINE THE EXTENT OF CUT OR FILL 500mm BEYOND TOP OF WALL ON HIGH SIDE AND BATTER AT A GRADE OF 10% TO PAD LEVEL
NATURE STRIP CONCEPT DIAGRAM:	NATURE STRIP CONCEPT DIAGRAM: ROAD 10% 5% 20% MAX 10% 20% MAX 10% VARIES NATURE STRIP CONCEPT DIAGRAM

SITE 3B MODEL TYPES	
Lot No.	House Type
3-041	220AM-DF4D-F10
3-042	219S-DF4D-F2
3-051	215AR-SF4A-F1
3-052	215AQ-SF4A-F1
3-061	215AR-SF4A-F1
3-062	215AQ-SF4A-F1

Site 3B - FSR Calculation			
Lot No.	Lot_Area	Total Area*	FSR
3-041	355.6 m ²	174.3 m ²	49.02%
3-042	351.6 m ²	175.3 m ²	49.86%
3-051	250.8 m ²	133.6 m ²	53.27%
3-052	250.9 m ²	133.6 m ²	53.24%
3-061	251.9 m ²	133.6 m ²	53.04%
3-062	250.6 m ²	133.6 m ²	53.31%

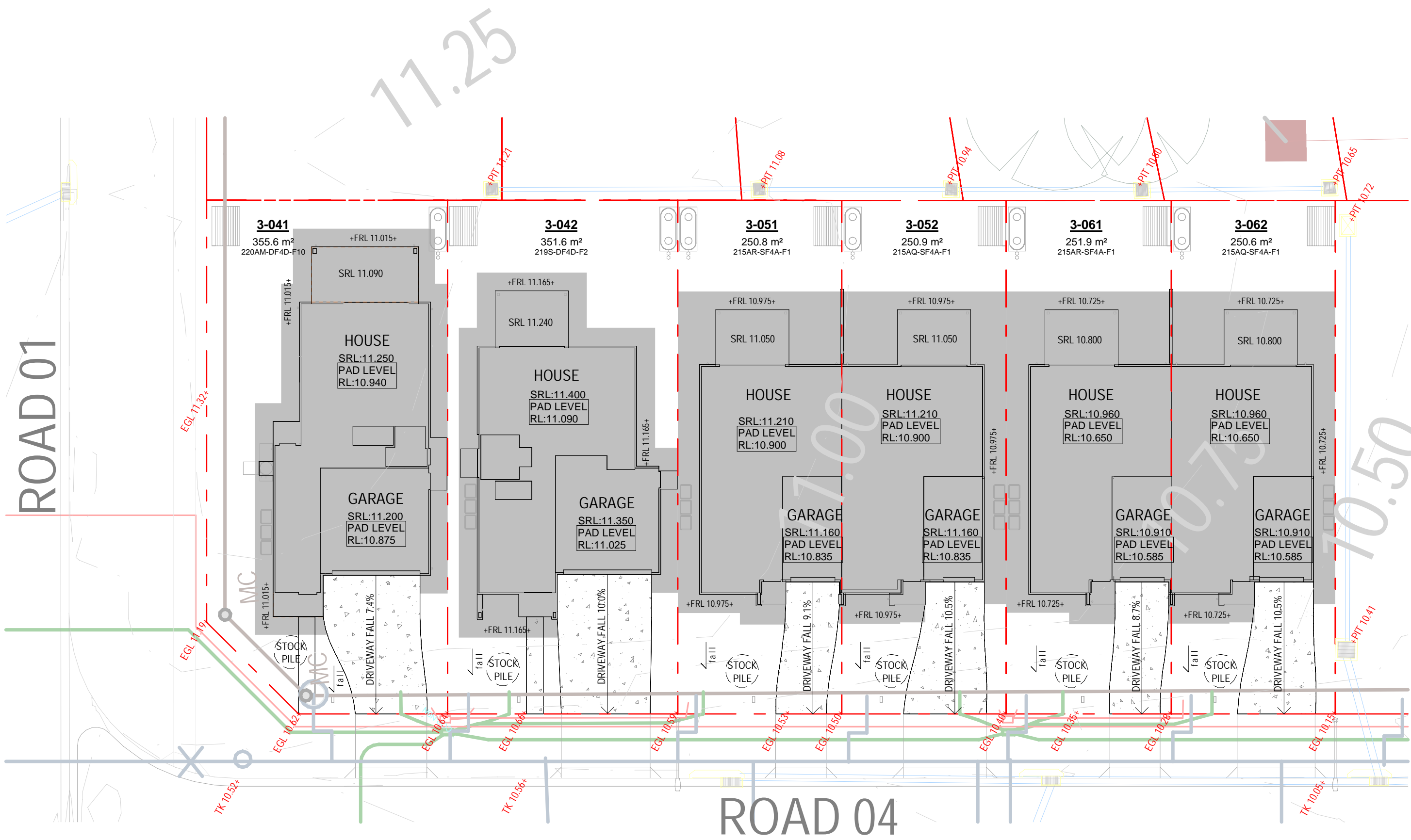


0mm 100mm 200mm 300mm

100mm

200mm

300mm



1 EROSION & SEDIMENT CONTROL/BENCHING PLAN - LOTS 3-061/3-062
1:200

NOTE:
PROPOSED HOUSE SRL'S CALCULATED ON AUSTRALIAN STANDARDS DRIVEWAY GRADES. FROM THE PROPOSED ROAD RL'S (MIN 2%) TO THE EXISTING GROUND LEVELS AT REAR WHERE TREES TO BE RETAINED
BENCHING PLAN IS BASED ON DESIGN LEVELS ONLY, AND SUBJECT TO REVIEW OF "WORKS AS EXECUTED" DRAWINGS ONCE THEY ARE RECEIVED

SITework LEGEND	
SERVICES	
H/W	HOT WATER UNIT
G	GAS METER UNDER
G	GAS METER
M/O/U	METER BOX / OPTICAL NETWORK UNIT
C	CABLE TV BOX
HC	GARDEN TAP
B	BINS
OWT	RAIN WATER TANK
HYD	HYDRANT
WM	WATER METER
SV	STOP VALVE
AC	A/C CONDENSER UNIT
CIVIL SERVICES	
LV	LV PILLAR (URD TYPE)
S	SUBSTATION
SL	STREET LIGHT
TF	TELSTRA FIT
CP	CATV PIT
GPT	GROSS POLLUTANT TRAP
G	GULLY PIT
SW	STORMWATER PIT
PS	PROPOSED SEWER MANHOLE
PS	PROPOSED SEWER
PS	PROPOSED WATER
PS	PROPOSED GAS
PS	PROPOSED COMMS
PS	PROPOSED ELECTRICAL DUCT ROUTE
PS	PROPOSED STORMWATER PIPE
PS	PROPOSED ELECTRICAL SERVICE CABLE
RETAINING WALLS/ FENCES	
LB	LETTER BOX
LB	RETAINING WALL LOW HEIGHT BRICK PIER & BRICK PANEL FENCE RETAINING
LB	FENCE 1800 HIGH TIMBER BATTENS ON BOTH SIDES OF TIMBER POSTS (STAGGERED)
FSW	FEATURE STONE WALL
AB-18	1800 HIGH VERTICAL METAL BATTENS
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LC-18	1800 HIGH TIMBER LAPPED & CAPPED FENCE
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AB-11	1100 HIGH ANGLE BLADE FENCE
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BRW	200 WIRE BRICK RETAINING WALL 900mm Max. Height (Rendered & Painted)
LOS-SL	LOS SLEEPER RETAINING WALL
BC-SL	CONCRETE SLEEPER WALL
BL	BLOCK WORK RETAINING WALL
DEB	DROP EDGE BEAM
WW	WET WALL
BRW	BLOCK WORK FEATURE RETAINING WALL
SF	SEDIMENT FENCE
SP	STOCK PILE
SR	STRUCTURAL RELATIVE LEVEL
ES	EXISTING GROUND LEVEL
FR	FINISHED RELATIVE LEVEL
FR	LEVEL AT TOP OF RETAINING WALL
FR	LEVEL AT BOTTOM OF RETAINING WALL
FR	BULK EARTHWORKS LEVEL
FR	FINISHED LANDSCAPE, DRIVEWAY, SLAB AND KERB LEVELS UP TO 150mm ABOVE BULK EARTHWORKS LEVEL
SP	SETOUT POINT
WCL	BATTER (MAX 10%)
WCL	WALL MOUNTED CLOTHES LINE
NOTE:	
EASEMENT TO DRAIN WATER 1.5m WIDE	
EASEMENT TO DRAIN WATER EASEMENT FOR SERVICES AND RIGHT OF ACCESS	
EASEMENT FOR MAINTENANCE & OVERHANG 1.0m WIDE	
DOWNPIPES CONNECTED TO COUNCIL STORMWATER SYSTEM	
IN RESPECT TO PROPOSED RETAINING WALLS CONFINE THE EXTENT OF CUT OR FILL 500mm BEYOND TOE OF WALL ON HIGH SIDE AND BATTER AT A GRADE OF 10% TO PAD LEVEL	
NATURE STRIP CONCEPT DIAGRAM:	

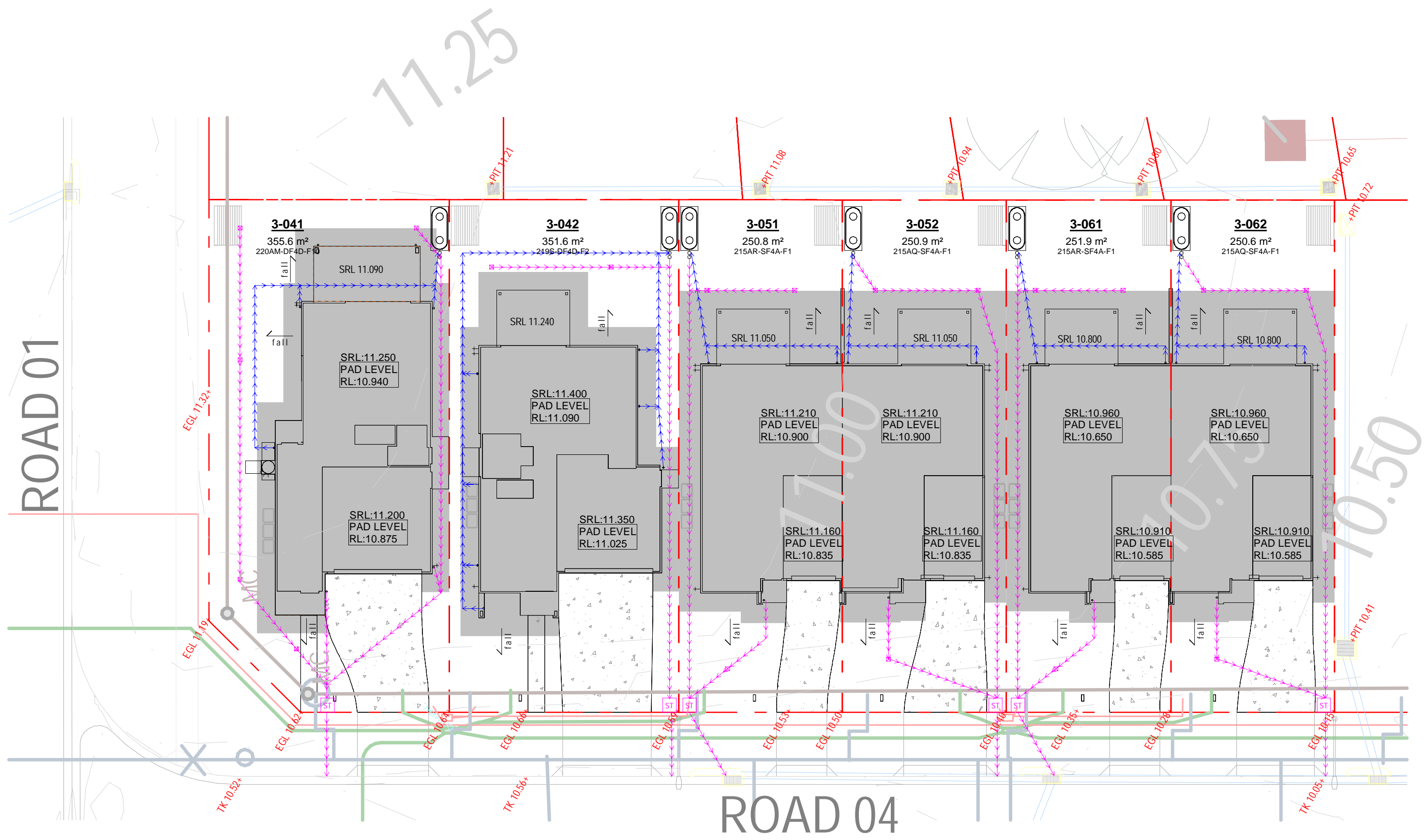


0mm 100mm 200mm 300mm

100mm

200mm

300mm



1 HYDRAULIC CONCEPT PLAN - LOTS 3-061/3-062
1:200

HYDRAULIC LEGEND

- PVC PIPELINE - CONNECTION TO RWY
- PVC PIPELINE - STORMWATER OVERFLOW
- AG DRAIN
- SUMP GRATE
- SILT TRAP
- KO
- CONNECTION POINT
- DIRECTION OF THE FALL
- PIT
- GULLY PIT

NOTE:
THIS STORMWATER SCHEMATIC DRAWING BY MIRVAC DESIGN IS PRODUCED AS A GUIDE. ONLY FOR PLUMBERS ON SITE TO INDICATE LOCATION OF LINES AND PITS WITHIN BOUNDARIES. THIS DRAWING IS ONLY TO INDICATE PIPE, PIP AND CONNECTIONS AND LOCATIONS. THIS DRAWING IS NOT TO INDICATE ANY PIPE OR PIT SIZES. ANY FURTHER INFORMATION RELATING TO SIZES AND EQUIPMENT COMPONENTS SHOULD BE CONFIRMED WITH A PLUMBER OR SUITABLY QUALIFIED HYDRAULIC ENGINEER.



WINDOW SCHEDULE - 3-041						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	1	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		3	
06	SA2107T	2100	730		4	
06	SF2007	2035	730	FIXED	1	
09	SA1009 OBS	1030	910		1	
14	SXD2116	2100	1570		1	
15	SA1215 SPECIAL	1200	1510	SA1307 WITHIN	1	
17	SA2018T SPECIAL	2035	1810	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	2	
23	SXD2127	2100	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 18						

WINDOW SCHEDULE - 3-042						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	1	
02	SA1207	1200	730		1	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		1	
04	SA2007T	2035	730		4	
08	SF1208	1200	850	FIXED	1	
09	SA1009 OBS	1030	910		1	
13	SA2016T SPECIAL	2035	1570	SA2007T WITHIN	1	
14	SXD2116	2100	1570		1	
19	SA0622	600	2170		1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	2	
21	SA2022T	2035	2170		1	
22	SA1326	1370	2650		1	
23	SXD2127	2100	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 18						

WINDOW SCHEDULE - 3-051						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		1	
07	SA2008T	2035	850		2	
16	SA1318 SPECIAL	1370	1810	SA1307 WITHIN	1	
17	SA2018T SPECIAL	2035	1810	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
23	AXD2127	2143	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 11						

WINDOW SCHEDULE - 3-052						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
07	SA2008T	2035	850		1	
13	SA2016T SPECIAL	2035	1570	SA1307 WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
25	SA1330 SPECIAL	1370	2960	1370H x 2960W SA1307 WITHIN	1	
26	SSD2436	2400	3580		1	
27	SA1316	1370	1570	OBSCUR	1	
28	SA0818	600	1810		1	
Grand total: 10						

WINDOW SCHEDULE - 3-061						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		1	
07	SA2008T	2035	850		2	
16	SA1318 SPECIAL	1370	1810	SA1307 WITHIN	1	
17	SA2018T SPECIAL	2035	1810	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
23	AXD2127	2143	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 11						

WINDOW SCHEDULE - 3-062						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
07	SA2008T	2035	850		1	
13	SA2016T SPECIAL	2035	1570	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
22	SA1326 SPECIAL	1370	2650	SA1307 WITHIN	1	
26	SSD2436	2400	3580		1	
27	SA1316	1370	1570	OBSCUR	1	
28	SA0618	600	1810		1	
Grand total: 10						

DOOR SCHEDULE - 3-041			
No.	Height	Leaf Width	Frame Width
03	2400	920	1500
04	2400	820	900
06	2400	820	900

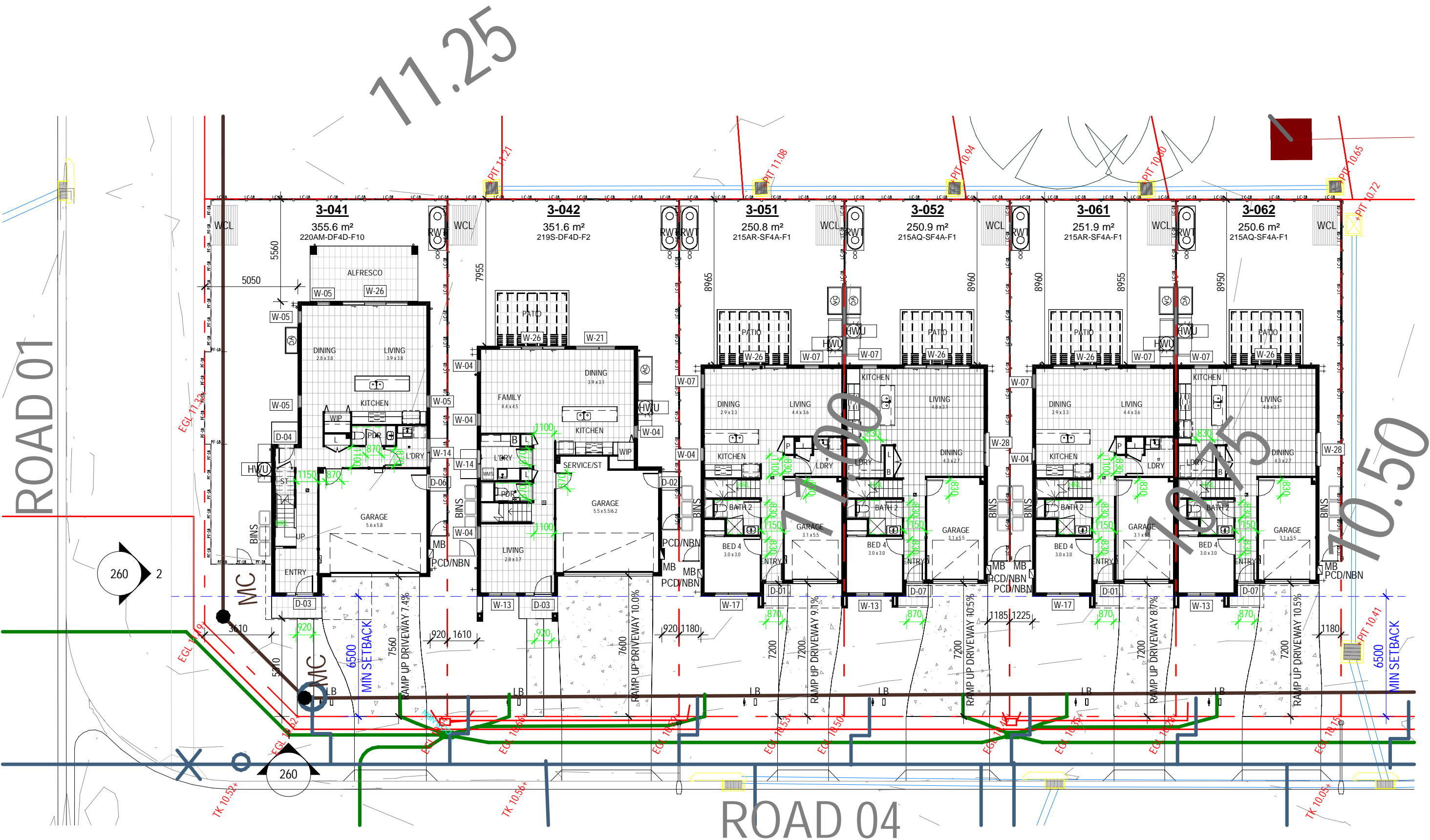
DOOR SCHEDULE - 3-042			
No.	Height	Leaf Width	Frame Width
02	2100	820	900
03	2400	920	1500

DOOR SCHEDULE - 3-051			
No.	Height	Leaf Width	Frame Width
01	2400	870	950

DOOR SCHEDULE - 3-052			
No.	Height	Leaf Width	Frame Width
07	2400	870	950

DOOR SCHEDULE - 3-061			
No.	Height	Leaf Width	Frame Width
01	2400	870	950

DOOR SCHEDULE - 3-062			
No.	Height	Leaf Width	Frame Width
07	2400	870	950



1 GROUND FLOOR PLAN - Lot 3-041 - 3-062
1 : 200

FLOOR PLAN LEGEND	
720	DOOR SIZE LABEL - REFER PLAN FOR SIZES
720L	DOOR SIZE LABEL - DOOR WITH LEFT OFF HINGES
730P	200mm ENGAGED BRICK PIERS @ 1000 CENTRES MAX
BAL	BALUSTRADE
BH	BULKHEAD DOOR
BO	STRUCTURAL BEAM TO ENGINEER'S DETAIL
CB	CUT BRICK SIZE
CSD	CAVITY SLURR DOOR
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
F1	ASSUMED FLOOR - FIRST DIRECTION
FBW	FACE BRICK WORK
FSW	FEATURE STONE WALL
H	HEAD OF OPENING - HEIGHT AS NOTED
HRL	HANDRAIL - 1000mm HIGH MIN
LWD	LINE OF WALL OVER
LWC	LIGHTWEIGHT CLADDING BOARDS
MH	CEILING MANHOLE
MR	METAL ROOF - PITCH AS NOTED
PG	PERGOLA TIE TO FR
PMP	PAINTED MASONRY PRODUCT
SK	SKYLIGHT
SL	SHOWER NICHE
SL	SMOKE ALARM
SD	STEPODOWN
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
TP	TIMBER POST - SIZE AS NOTED
TR	TILED ROOF - PITCH AS NOTED
VJ	VERTICAL JOINT
HC	HOSE COCK RECYCLE
HC	HOSE COCK

NOTES	
MANHOLE POSITIONS TO BE DETERMINED BY SITE MANAGER	
ALL DOWNPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 200mm TO THE DOWNPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE	
ANY DOWNPIPE WITHIN 600mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL	
SERVICES ABBREVIATIONS	
AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EVAPORATOR
GM	GAS METER
HWH	HOT WATER UNIT
MB	ELECTRICAL METER BOX
WTC	WATER TANK CONTROL BOX
C	CLOAK CUPBOARD
L	LINEN
ST	SERVICE STACK
WM	WATER METER
CT	COOKTOP
DW	DISH WASHER
DS	DRYER SPACE
FSC	FREE STANDING COOKER
MW	MICROWAVE SPACE
R	REFRIGERATOR SPACE
RH	RANGEHOOD
UBO	UNDER BENCH OVEN
WO	WALL OVEN
WMS	WASHING MACHINE SPACE
PCD	PREMISES CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK

BARRIER NOTE	
ALL FLOOR JOISTS TO BE KEPT CLEAR OF AC DROPPER DUCTING. TRUSS DESIGN TO ALLOW FOR INSTALLATION OF AC UNIT	

BALUSTRADE NOTES	
INTERNAL STAIRS	
BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT	

EXTERNAL BALUSTRADES	
ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	

WINDOW NOTE	
WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 100MM MAX.	

ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS	
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WET AREA WALLS	
WALLS AROUND THE TOILET, SHOWER AND BATH TO BE REINFORCED TO SUPPORT SAFE INSTALLATION OF FUTURE GRABRAILS BY OCCUPANTS	

LIVABLE HOUSING	
THESE DESIGNS MEET COUNCILS CONTROL AS OUTLINES IN SECTION 1.1.1. LIVABLE HOUSING OF THE RESIDENTIAL ACCOMMODATION DCP ONLY	

INDICATES WALL WITH REINFORCEMENT TO ENABLE INSTALLATION OF FUTURE GRABRAILS	
GREEN DIMENSIONS INDICATE MINIMUM CLEARANCES	

AREA SCHEDULE - GROSS		
O_Lot No	Name	Area

3-041	Ground Floor	84.9 m²
3-041	Porch	3.3 m²
3-041	Garage	35.2 m²
3-041	Alfresco	17.5 m²
3-041	First Floor	112.0 m²
3-041	Balcony	6.7 m²
		259.6 m²

3-042	Ground Floor	85.8 m²
3-042	Garage	35.3 m²
3-042	Patio	12.0 m²
3-042	Porch	2.4 m²
3-042	First Floor	111.7 m²
3-042	Balcony	5.9 m²
		263.0 m²

3-051	Ground Floor	75.8 m²
3-051	Garage	18.5 m²
3-051	Porch	1.6 m²
3-051	Patio	12.0 m²
3-051	First Floor	77.1 m²
3-051	Balcony	5.6 m²
		190.5 m²

3-052	Ground Floor	75.5 m²
3-052	Garage	18.9 m²
3-052	Porch	1.7 m²
3-052	Patio	12.0 m²
3-052	First Floor	77.0 m²
		185.1 m²

3-061	Ground Floor	75.8 m²
3-061	Patio	12.0 m²
3-061	Garage	18.5 m²
3-061	Porch	1.6 m²
3-061	First Floor	77.1 m²
3-061	Balcony	5.6 m²
		190.5 m²

3-062	Ground Floor	75.5 m²
3-062	Garage	18.9 m²
3-062	Porch	1.7 m²
3-062	Patio	12.0 m²
3-062	First Floor	77.6 m²
		185.7 m²

WINDOW SCHEDULE - 3-041						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	1	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		3	
06	SA2107T	2100	730		4	
06	SF2007	2035	730	FIXED	1	
09	SA1009 OBS	1030	910		1	
14	SXD2116	2100	1570		1	
15	SA1215 SPECIAL	1200	1510	SA1307 WITHIN	1	
17	SA2018T SPECIAL	2035	1810	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	2	
23	SXD2127	2100	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 18						

WINDOW SCHEDULE - 3-042						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	1	
02	SA1207	1200	730		1	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		4	
08	SF1208	1200	850	FIXED	1	
09	SA1009 OBS	1030	910		1	
13	SA2016T SPECIAL	2035	1570	SA2007T WITHIN	1	
14	SXD2116	2100	1570		1	
19	SA0622	600	2170		1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	2	
21	SA2022T	2035	2170		1	
22	SA1326	1370	2650		1	
23	SXD2127	2100	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 18						

WINDOW SCHEDULE - 3-051						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		1	
07	SA2008T	2035	850		2	
16	SA1318 SPECIAL	1370	1810	SA1307 WITHIN	1	
17	SA2018T SPECIAL	2035	1810	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
23	AXD2127	2143	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 11						

WINDOW SCHEDULE - 3-052						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
07	SA2008T	2035	850		1	
13	SA2016T SPECIAL	2035	1570	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
25	SA1330 SPECIAL	1370	2960	1370H x 2960W/SA1307 WITHIN	1	
26	SSD2436	2400	3580		1	
27	SA1316	1370	1570	OBSCUR	1	
28	SA0818	600	1810		1	
Grand total: 10						

WINDOW SCHEDULE - 3-061						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
04	SA2007T	2035	730		1	
07	SA2008T	2035	850		2	
16	SA1318 SPECIAL	1370	1810	SA1307 WITHIN	1	
17	SA2018T SPECIAL	2035	1810	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
23	AXD2127	2143	2712		1	
26	SSD2436	2400	3580		1	
Grand total: 11						

WINDOW SCHEDULE - 3-062						
No.	Type	Height	Width	Description	Total Quantity	
01	SA1007 OBS	1030	730	OBSCUR	2	
03	SA1307	1370	730		1	
07	SA2008T	2035	850		1	
13	SA2016T SPECIAL	2035	1570	SA2007T WITHIN	1	
20	SA1218 SPECIAL	1200	1810	SA1307 WITHIN	1	
22	SA1326 SPECIAL	1370	2650	SA1307 WITHIN	1	
26	SSD2436	2400	3580		1	
27	SA1316	1370	1570	OBSCUR	1	
28	SA0618	600	1810		1	
Grand total: 10						

DOOR SCHEDULE - 3-041				
No.	Height	Leaf Width	Frame Width	
03	2400	920	1500	
04	2400	820	900	
06	2400	820	900	

DOOR SCHEDULE - 3-042				
No.	Height	Leaf Width	Frame Width	
02	2100	820	900	
03	2400	920	1500	

DOOR SCHEDULE - 3-051				
No.	Height	Leaf Width	Frame Width	
01	2400	870	950	

DOOR SCHEDULE - 3-052				
No.	Height	Leaf Width	Frame Width	
07	2400	870	950	

DOOR SCHEDULE - 3-061				
No.	Height	Leaf Width	Frame Width	
01	2400	870	950	

DOOR SCHEDULE - 3-062				
No.	Height	Leaf Width	Frame Width	
07	2400	870	950	

AREA SCHEDULE - GROSS

O_Lot No	Name	Area
3-041	Ground Floor	84.9 m²
3-041	Porch	3.3 m²
3-041	Garage	35.2 m²
3-041	Patio	17.5 m²
3-041	First Floor	112.0 m²
3-041	Balcony	6.7 m²
		259.6 m²

3-042	Ground Floor	85.8 m²
3-042	Garage	35.3 m²
3-042	Patio	12.0 m²
3-042	Porch	2.4 m²
3-042	First Floor	111.7 m²
3-042	Balcony	5.9 m²
		253.0 m²

3-051	Ground Floor	75.8 m²
3-051	Garage	18.5 m²
3-051	Patio	1.6 m²
3-051	Patio	12.0 m²
3-051	First Floor	77.1 m²
3-051	Balcony	5.6 m²
		190.5 m²

3-052	Ground Floor	75.5 m²
3-052	Garage	18.9 m²
3-052	Porch	1.7 m²
3-052	Patio	12.0 m²
3-052	First Floor	77.0 m²
		185.1 m²

3-061	Ground Floor	75.8 m²
3-061	Patio	12.0 m²
3-061	Patio	18.5 m²
3-061	Porch	1.6 m²
3-061	First Floor	77.1 m²
3-061	Balcony	5.6 m²
		190.5 m²

3-062	Ground Floor	75.5 m²
3-062	Garage	18.9 m²
3-062	Porch	1.7 m²
3-062	Patio	12.0 m²
3-062	First Floor	77.6 m²
		185.7 m²

FLOOR PLAN LEGEND

720	DOOR SIZE LABEL - REFER PLAN FOR SIZES
720L	DOOR SIZE LABEL - DOOR WITH LIFT OFF HINGES
730P	200mm ENGAGED BRICK PIERS @ 1000 CENTRES MAX
BAL	BALUSTRADE
BH	BULKHEAD OVER
BO	STRUCTURAL BEAM TO ENGINEER'S DETAIL
CB	CUT BRICK SIZE
CSD	CAVITY SLURRY DOOR
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
F1	ASSUMED FLOOR - FIRST FLOOR
FBW	FACE BRICK WORK
FSW	FEATURE STONE WALL
H	HEAD OF OPENING - HEIGHT AS NOTED
HRL	HANDRAIL - 1000mm HIGH MIN
LWO	LINE OF WALL OVER
LWC	LIGHTWEIGHT CLADDING BOARDS
MH	CEILING MANHOLE
MR	METAL ROOF - PITCH AS NOTED
PCS	PERGOLA TRESTLE
PMP	PAINTED MASONRY PRODUCT
SK	SKYLIGHT
SN	SHOWER NICHE
SL	SMOKE ALARM
SD	STEPPED
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
TP	TIMBER POST - SIZE AS NOTED
TR	TILED ROOF - PITCH AS NOTED
VJ	VERTICAL JOINT
HC	HOSE COCK
HCR	HOSE COCK RECYCLE

NOTES

- MANHOLE POSITIONS TO BE DETERMINED BY SITE MANAGER
- ALL DOWNPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 20mm TO THE DOWNPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE
- ANY DOWNPIPE WITHIN 600mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL

SERVICES ABBREVIATIONS

MECH	A/C	AIRCON CONDENSER
MECH	ACD	AIRCON DUCT
MECH	ACE	AIRCON EVAPORATOR
ELEC	GM	GAS METER
ELEC	HMB	HOT WATER UNIT
ELEC	MB	ELECTRICAL METER BOX
ELEC	WTC	WATER TANK CONTROL BOX
ELEC	C	CLOAK CUPBOARD
MECH	L	LINEN
MECH	ST	SERVICE STACK
MECH	WM	WATER METER
MECH	CT	COOKTOP
MECH	DW	DISH WASHER
MECH	OS	DRYER SPACE
MECH	FSC	FREE STANDING COOKER
MECH	MW	MICROWAVE SPACE
MECH	P	PANTRY
MECH	R	REFRIGERATOR SPACE
MECH	RH	RANGEHOOD
MECH	UBO	UNDER BENCH OVEN
MECH	W/O	WALL OVEN
MECH	WMS	WASHING MACHINE SPACE
MECH	POD	PREMISES CONNECTION DEVICE
MECH	NBN	NATIONAL BROADBAND NETWORK

ERAMER NOTE

ALL FLOOR JOISTS TO BE KEPT CLEAR OF AC DROPPER DUCTING. TRUSS DESIGN TO ALLOW FOR INSTALLATION OF AC UNIT.

BALUSTRADE NOTES:

INTERNAL STAIRS

BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.

EXTERNAL BALUSTRADES

ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS

WINDOW NOTE:

WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 125MM MAX.

ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.

WET AREA WALLS:

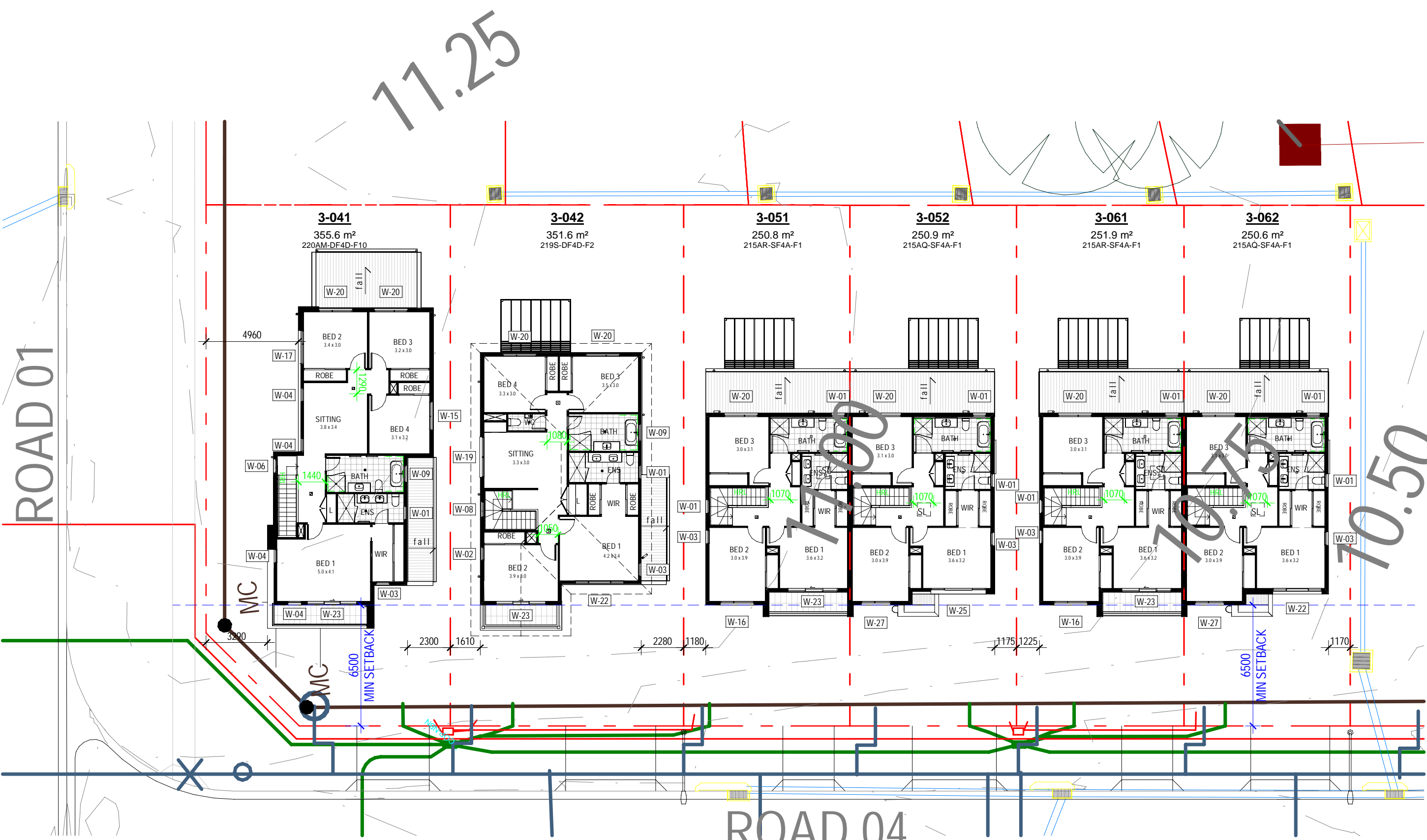
WALLS AROUND THE TOILET, SHOWER AND BATH TO BE REINFORCED TO SUPPORT SAFE INSTALLATION OF FUTURE GRABRAILS BY OCCUPANTS

LIVABLE HOUSING:

THESE DECISIONS MEET COUNCIL'S CONTROLS AS OUTLINES IN SECTION 11.1 LIVABLE HOUSING OF THE RESIDENTIAL ACCOMMODATION DCP ONLY

INDICATES WALL WITH REINFORCEMENT TO ENABLE INSTALLATION OF FUTURE GRABRAILS

GREEN DIMENSIONS INDICATE MINIMUM CLEARANCES



1 FIRST FLOOR PLAN - Lot 3-041 - 3-062
1:200

0mm

100mm

200mm

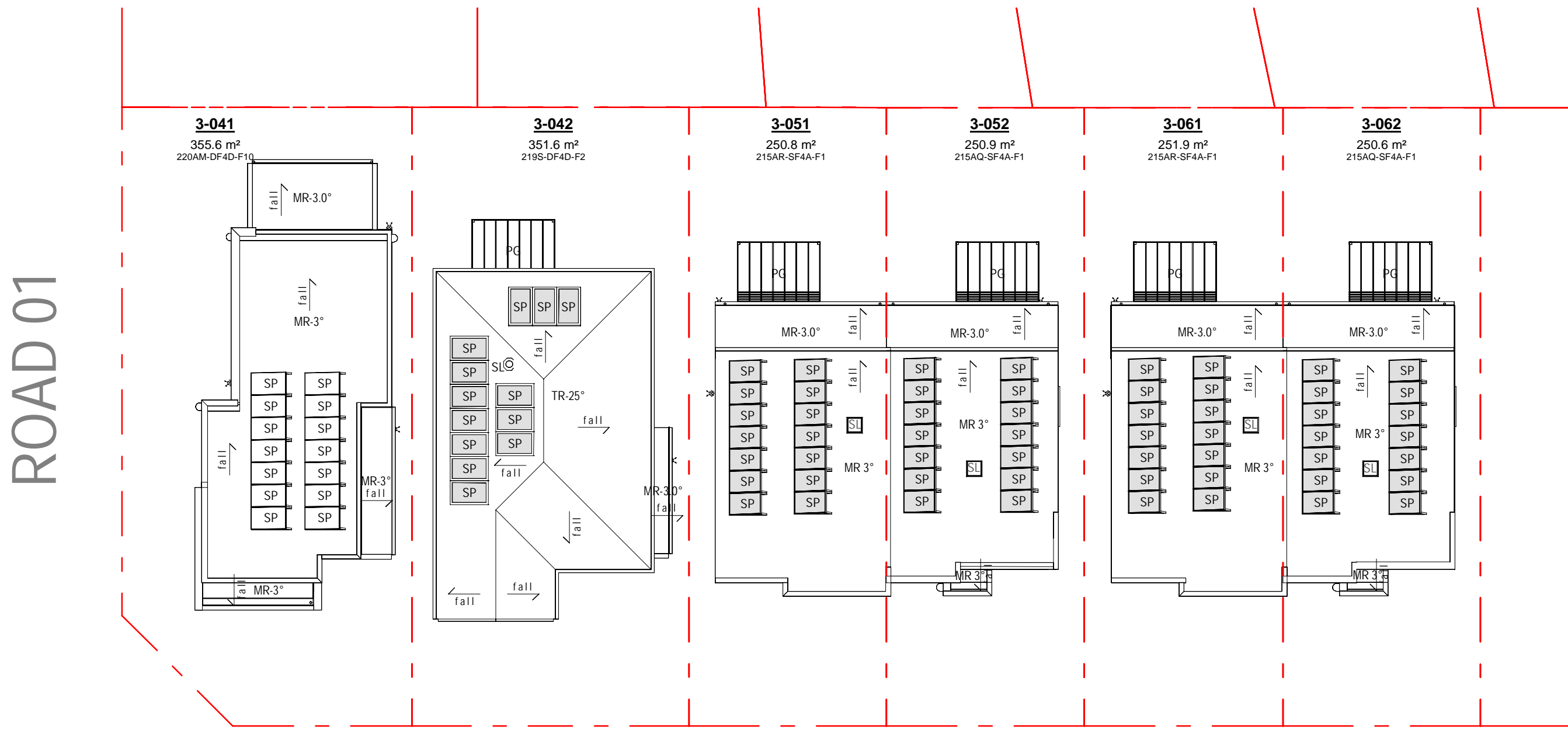
300mm

100mm

200mm

300mm

LEGEND - ROOF PLAN	
	RAKED SOFFIT
	FIRE RATED EAVE
ABBREVIATIONS	
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100mm DIAMETER
MR	METAL ROOF - PITCH AS NOTED
TR	TILED ROOF - PITCH AS NOTED
PG	PERGOLA
SHWP	SOLAR HOT WATER PANEL
RAWH	RAIN WATER HEAD
SL	SKY LIGHT
SP	SOLAR PANELS
EXAIR	ROOF VENTILATION SYSTEM
#	PURCHASER OPTION
● ALL DRAINPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 300mm TO THE DRAINPIPE CENTRE WHERE POSSIBLE. UNLESS NOTED OTHERWISE.	
● ANY DRAINPIPE WITHIN 45mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL.	



1 ROOF PLAN - LOTS 4-01-052
1:200

ROAD 04



0mm

100mm

200mm

300mm

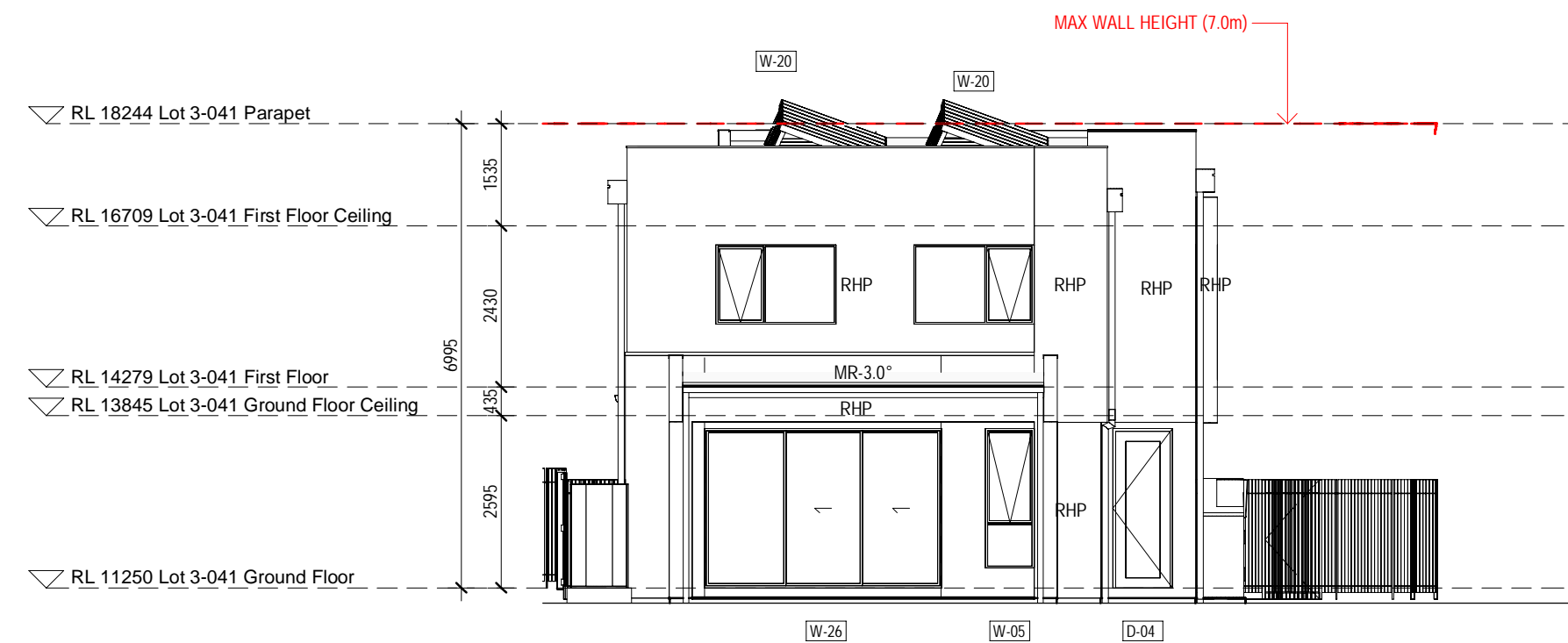
100mm

200mm

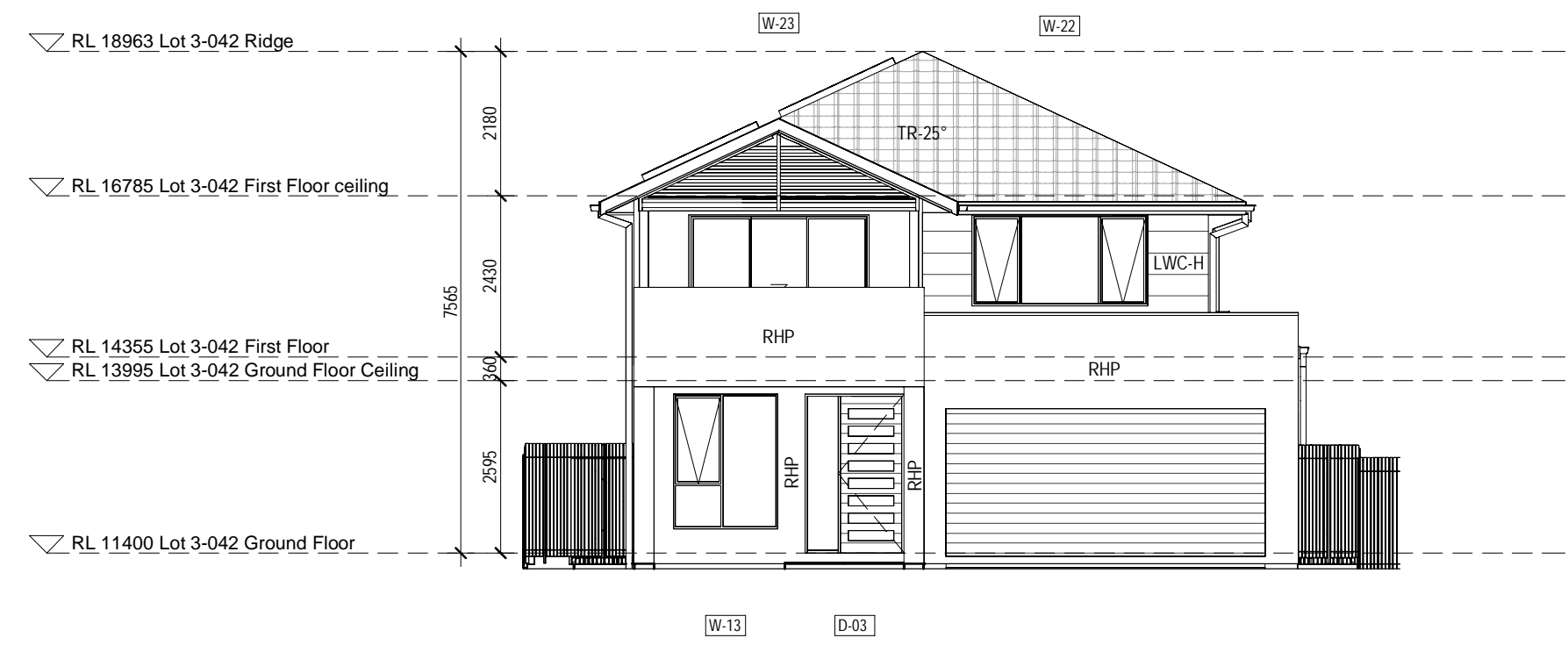
300mm



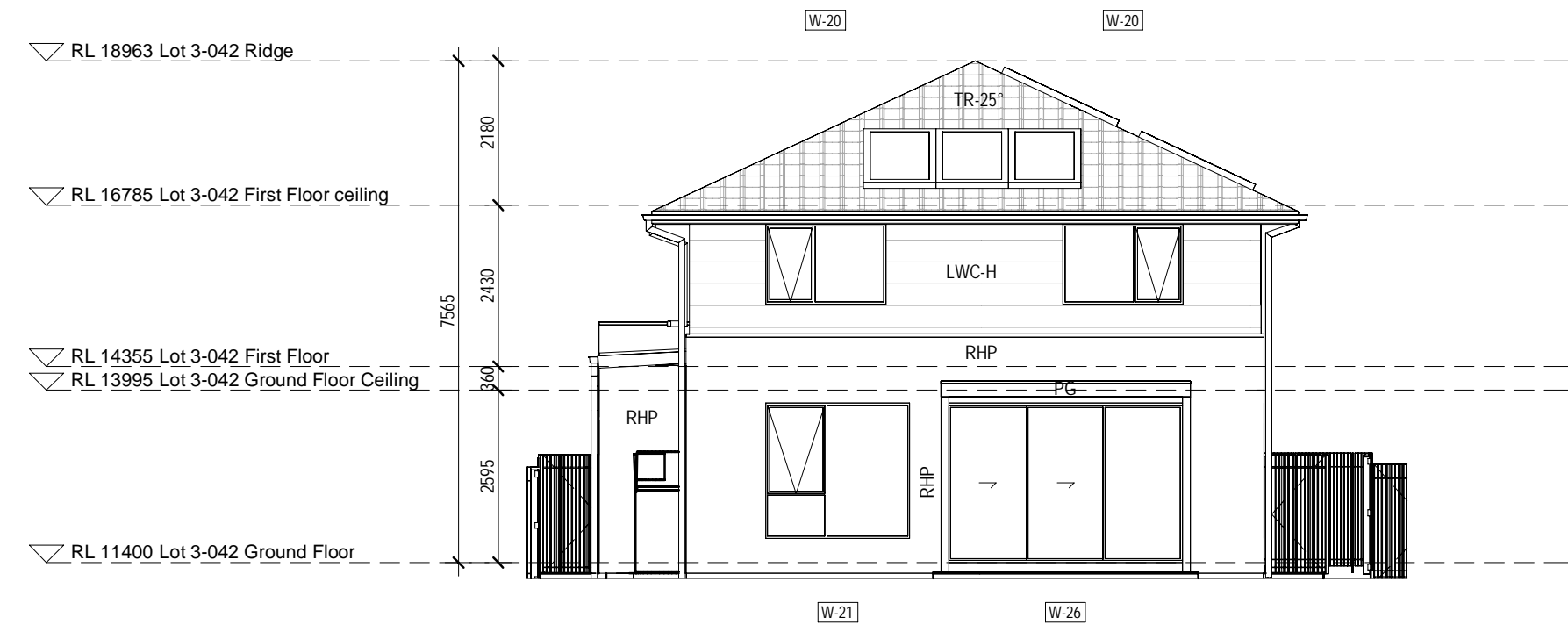
1 LOT 3-041 FRONT ELEVATIONS
1:100



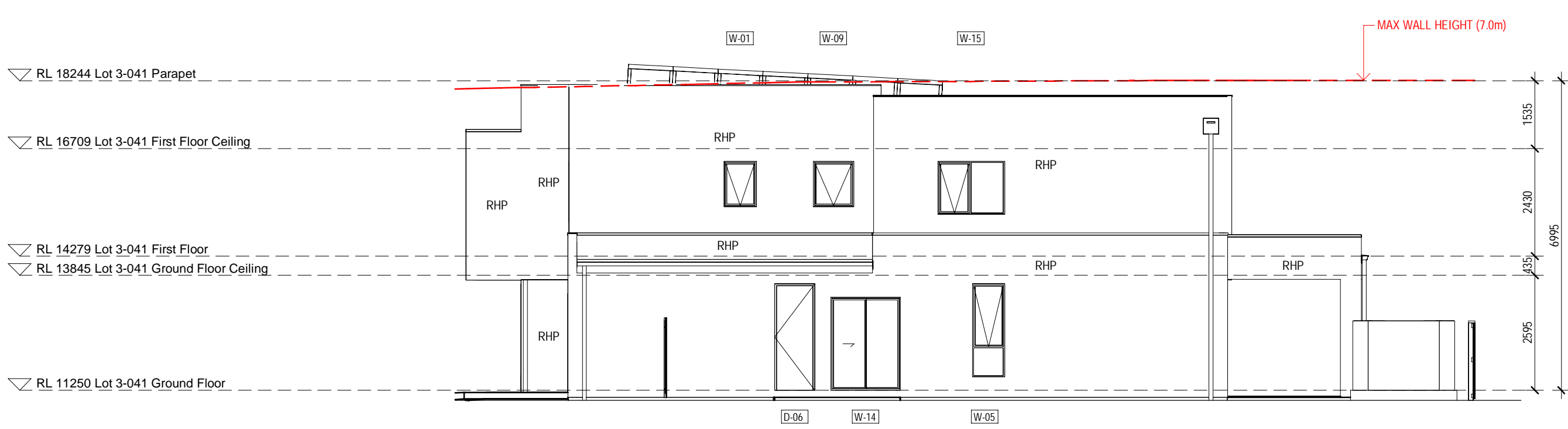
3 LOT 3-041 REAR ELEVATIONS
1:100



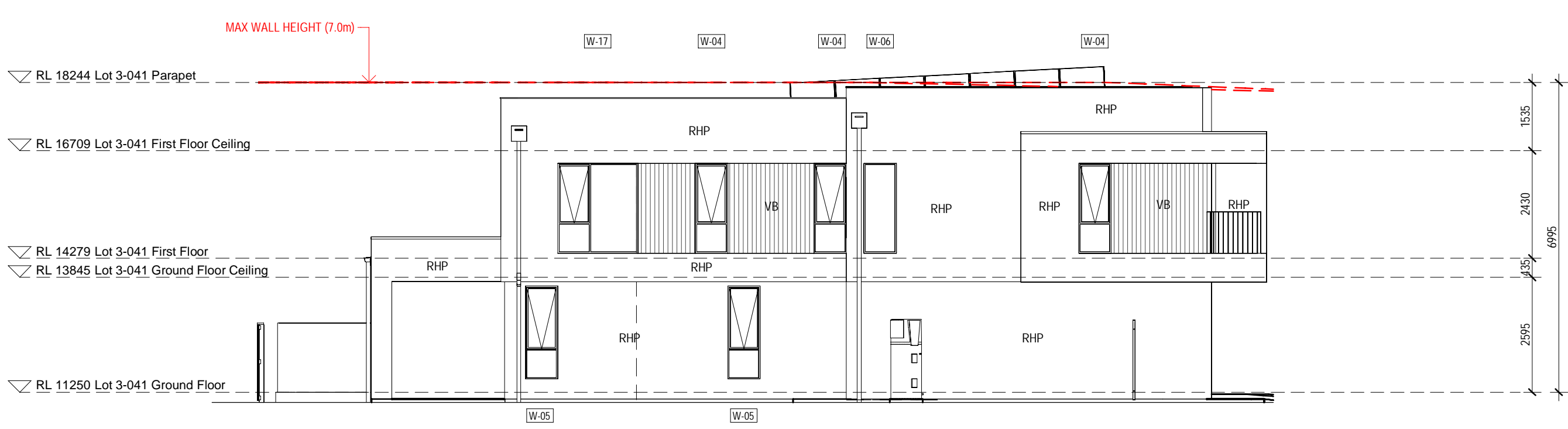
5 LOT 3-042 FRONT ELEVATIONS
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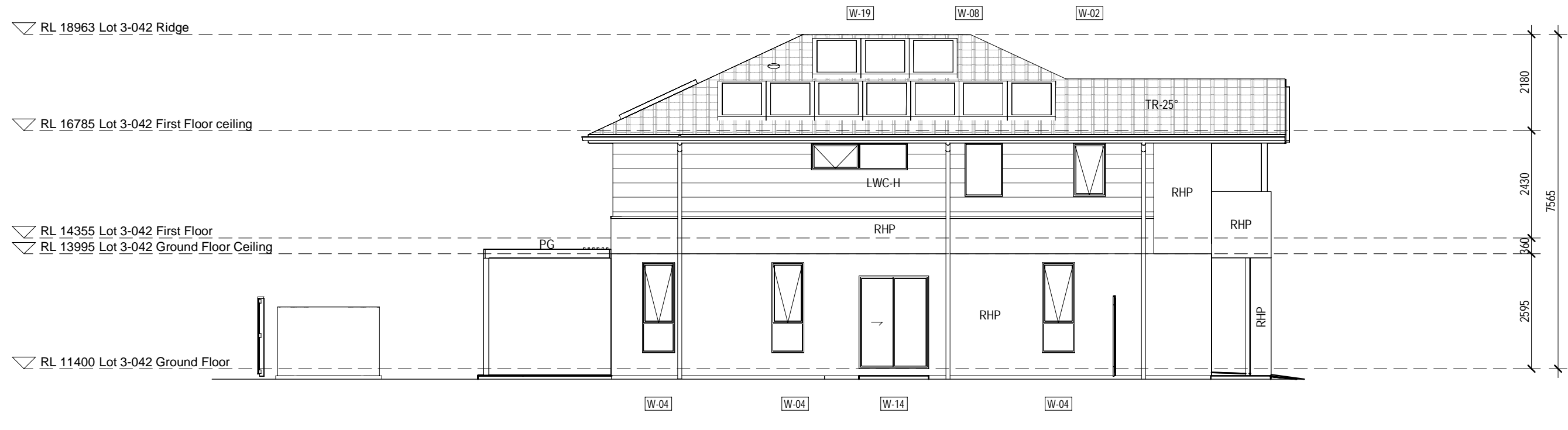
7 LOT 3-042 REAR ELEVATIONS
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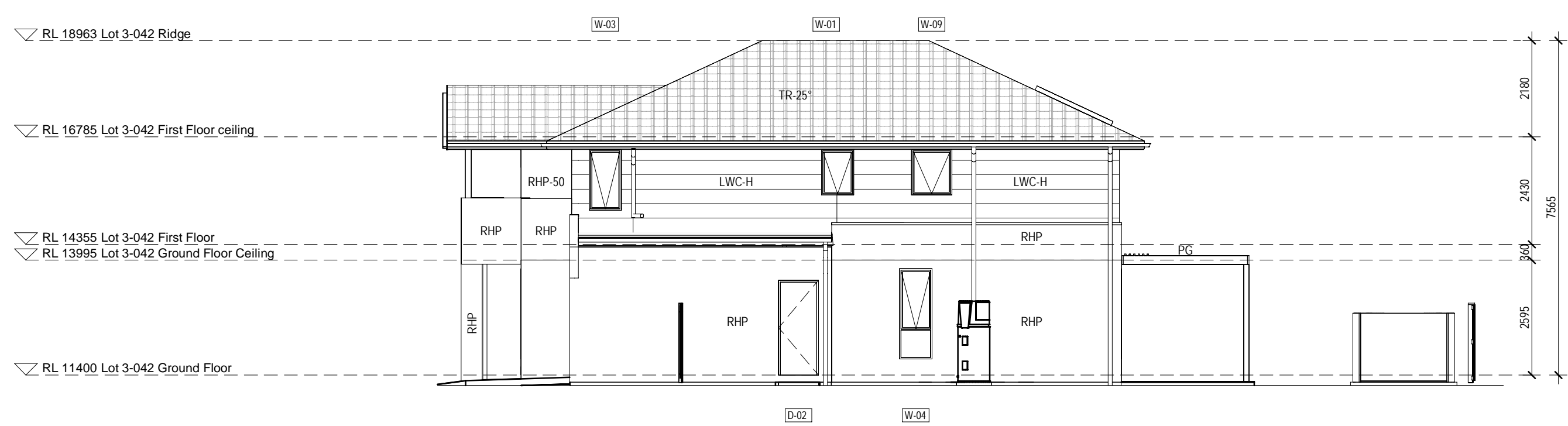
2 LOT 3-041 SIDE B ELEVATIONS
1:100



4 LOT 3-041 SIDE ELEVATIONS
1:100



6 LOT 3-042 SIDE ELEVATIONS
1:100



8 LOT 3-042 SIDE B ELEVATIONS
1:100

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE.	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP - 75	RENDERED HERBEL PANEL 75
RHP - 50	RENDERED HERBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING

0mm

100mm

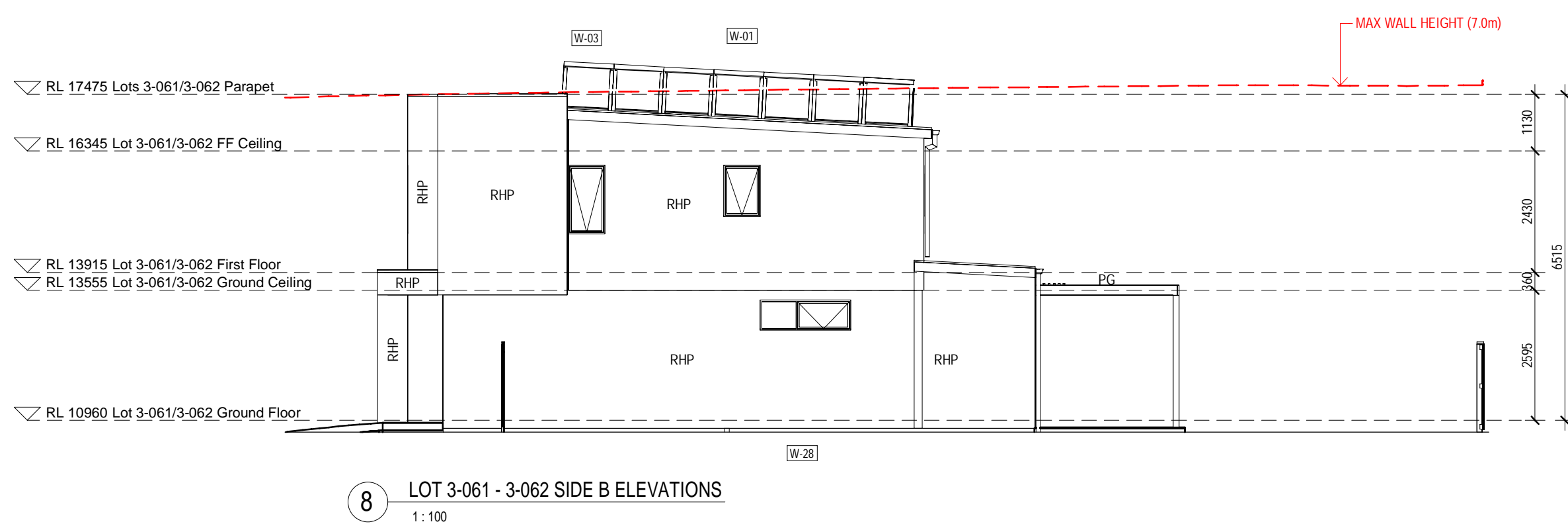
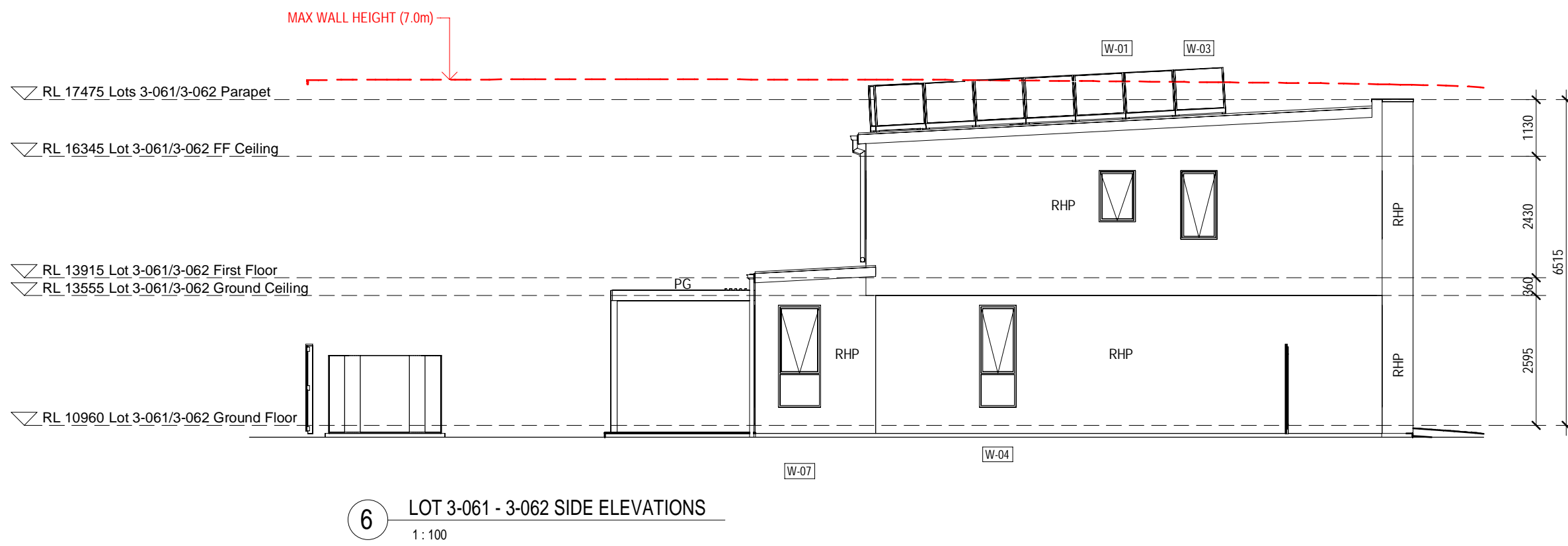
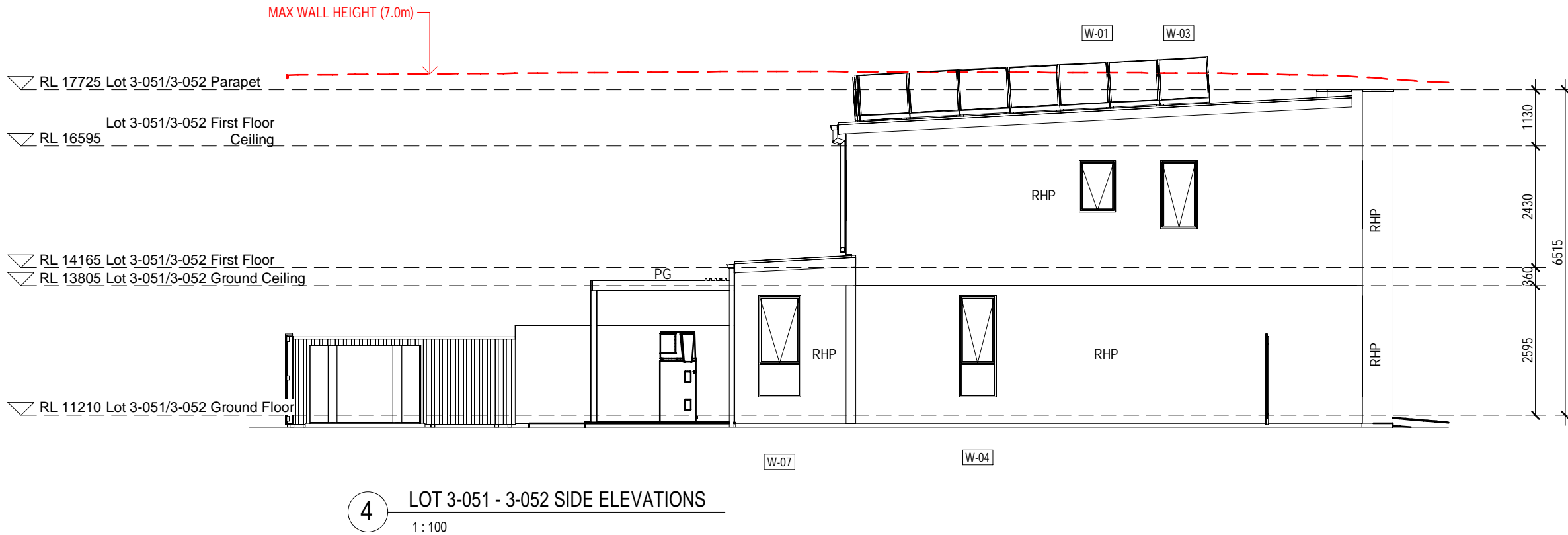
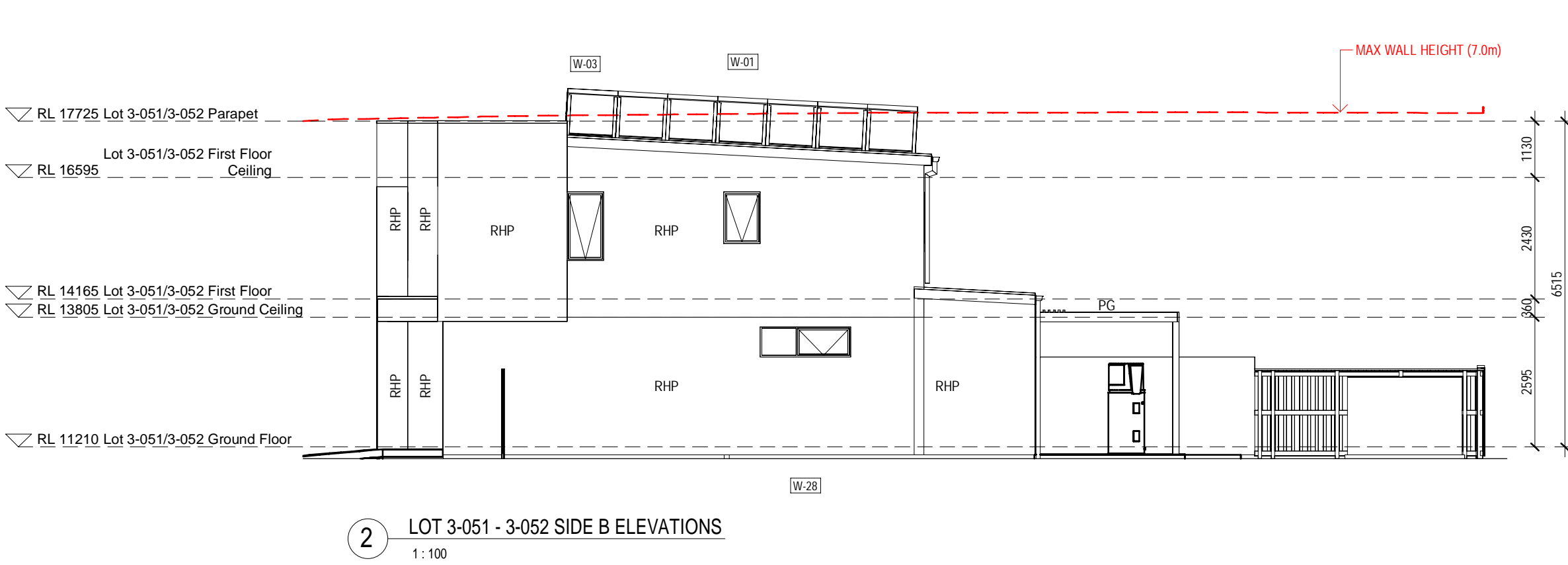
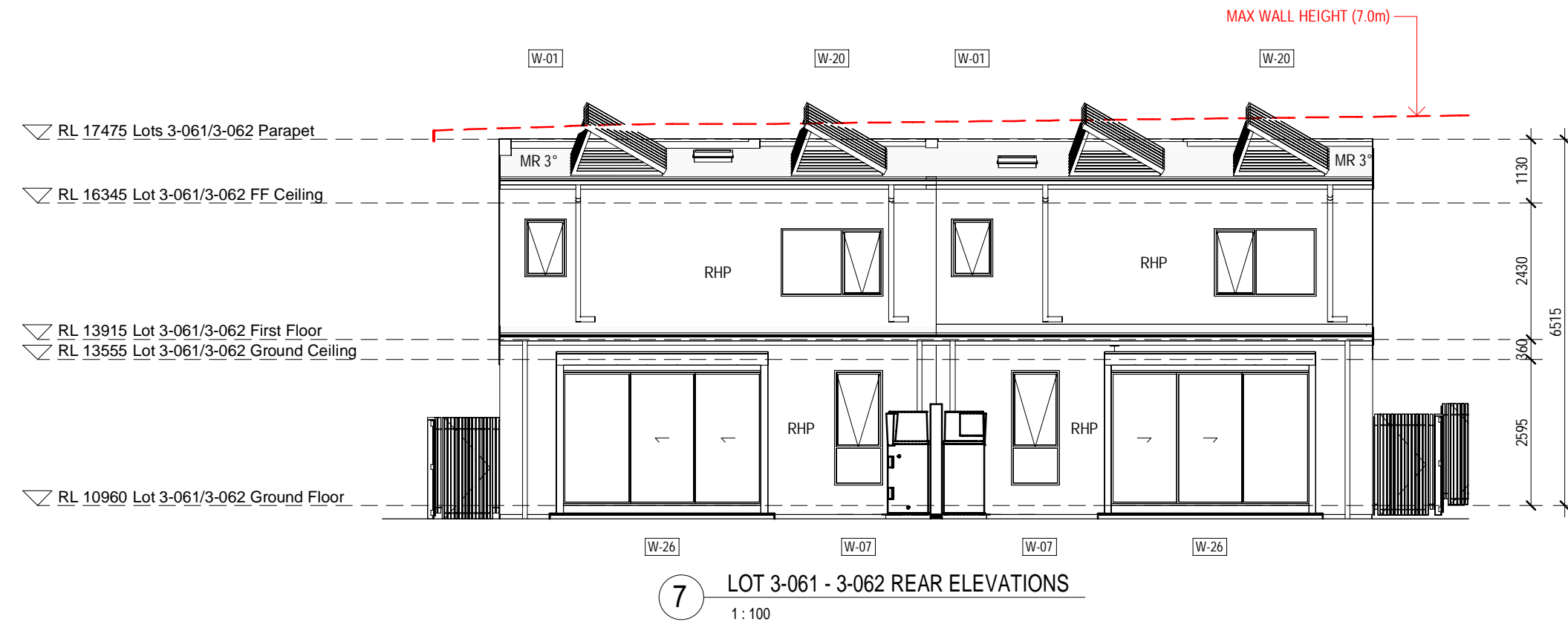
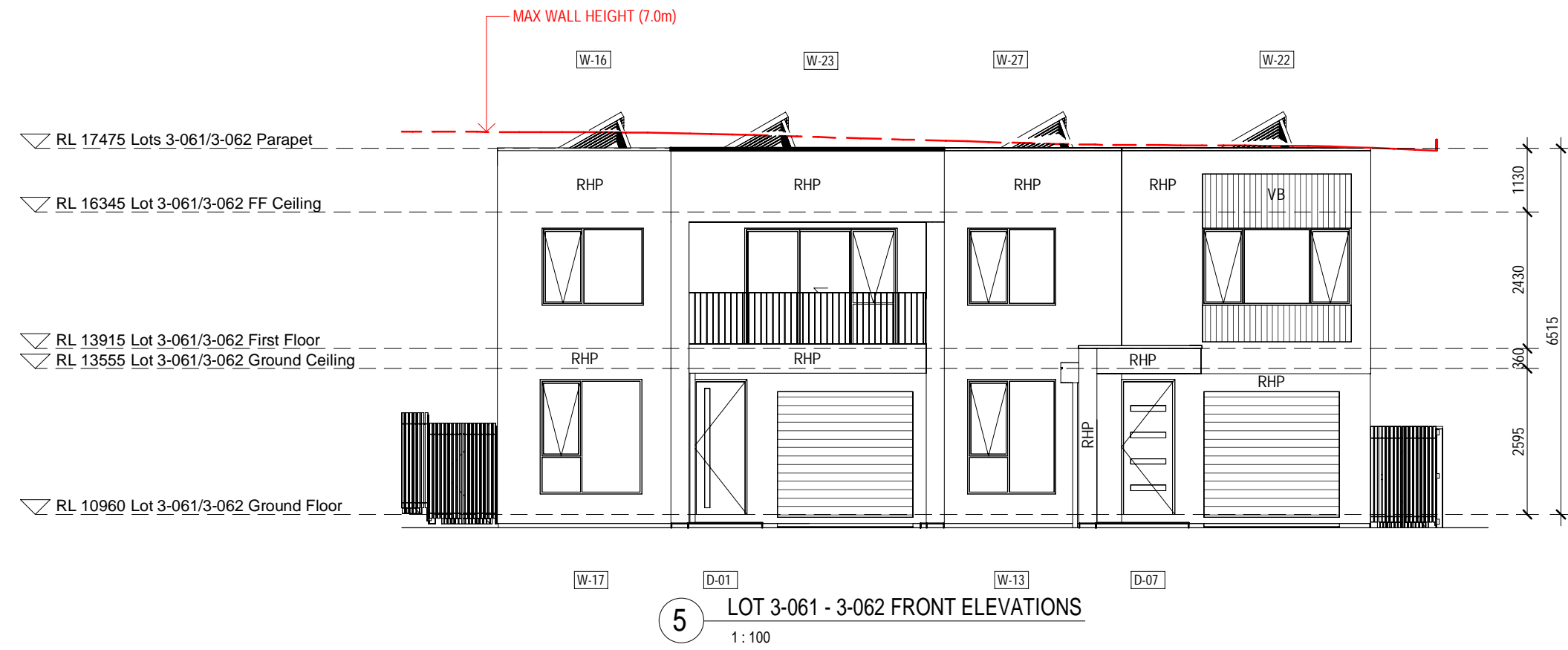
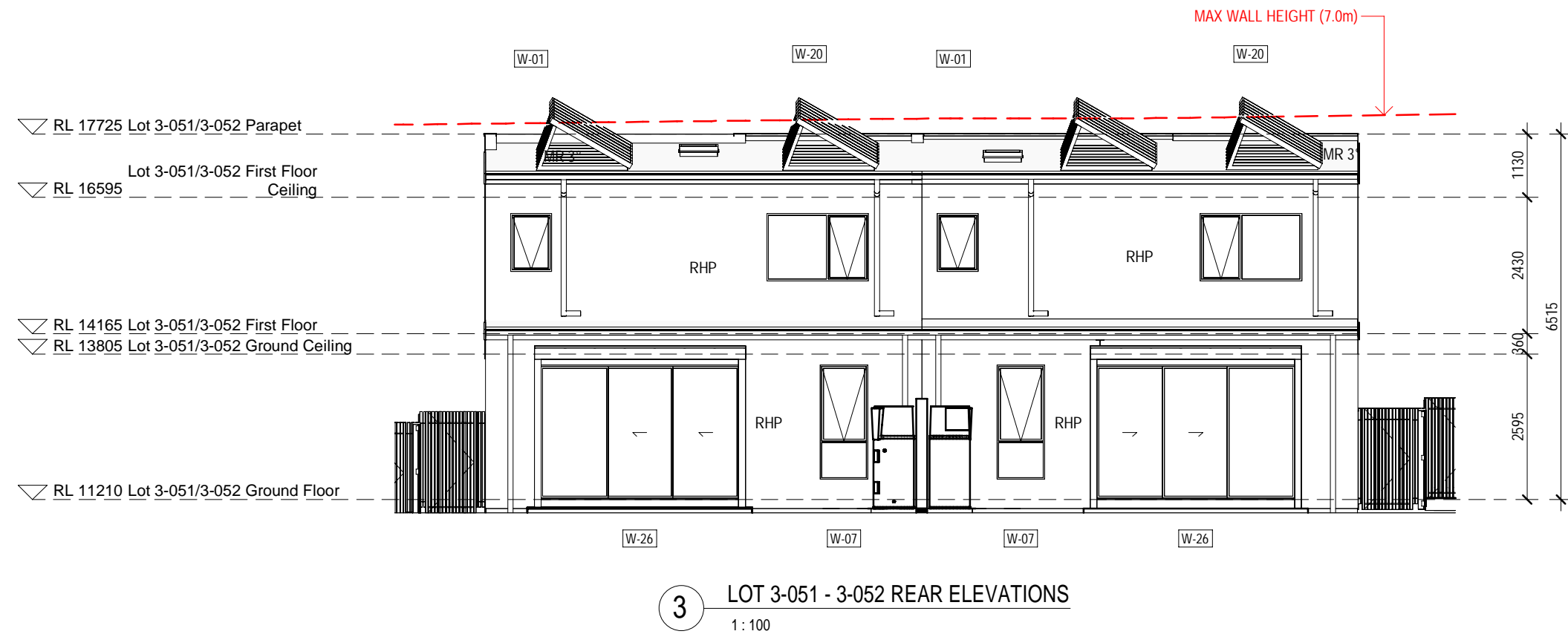
200mm

300mm

100mm

200mm

300mm



EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING



1

STREETSCAPES 3-041_3-062

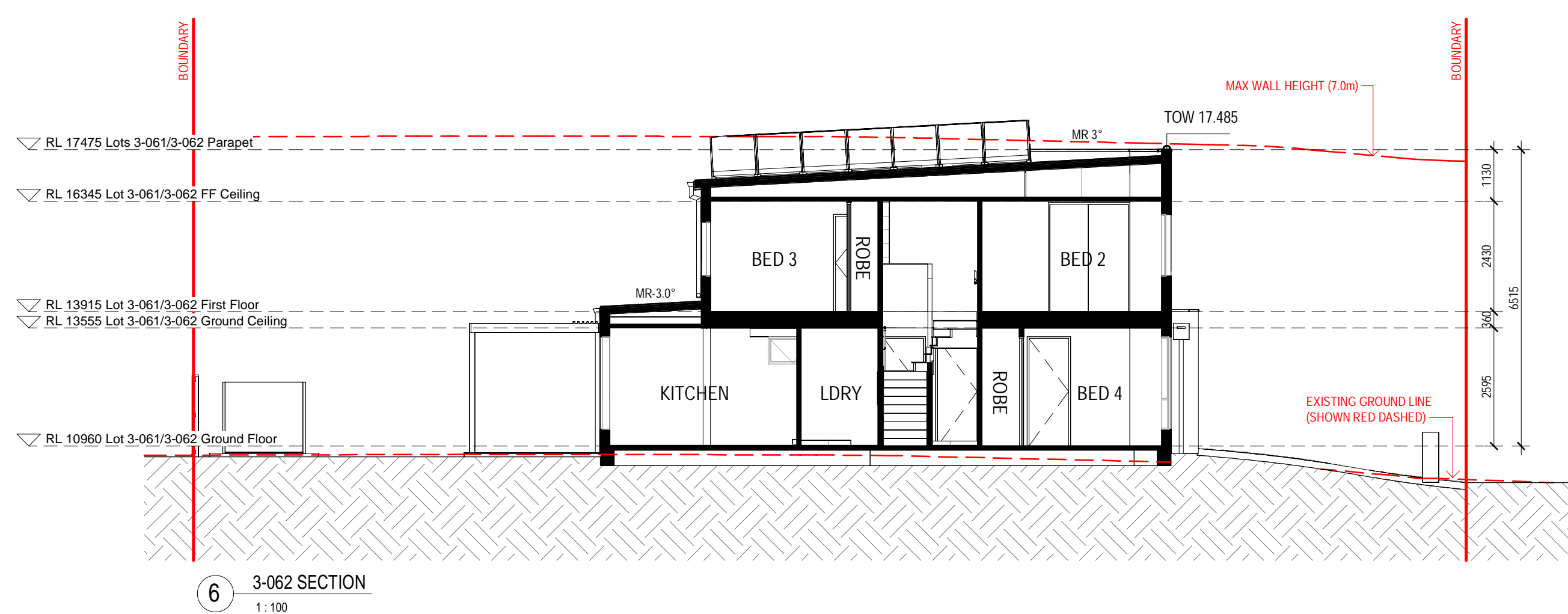
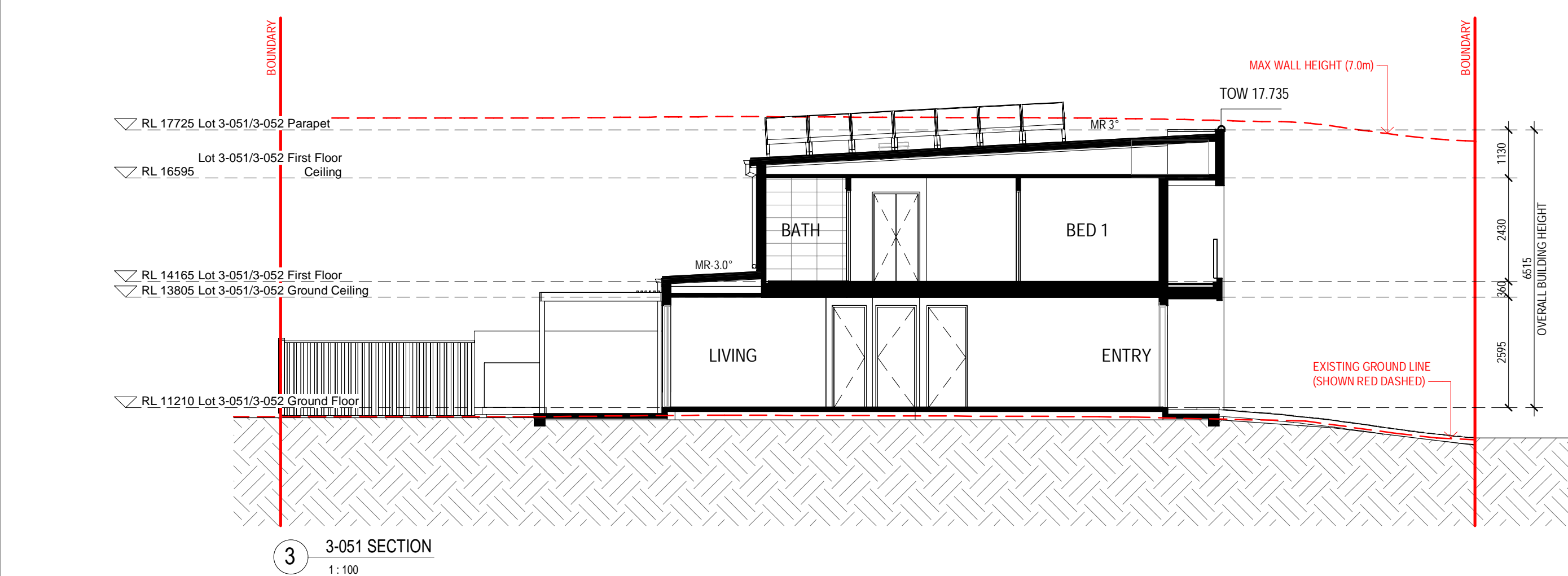
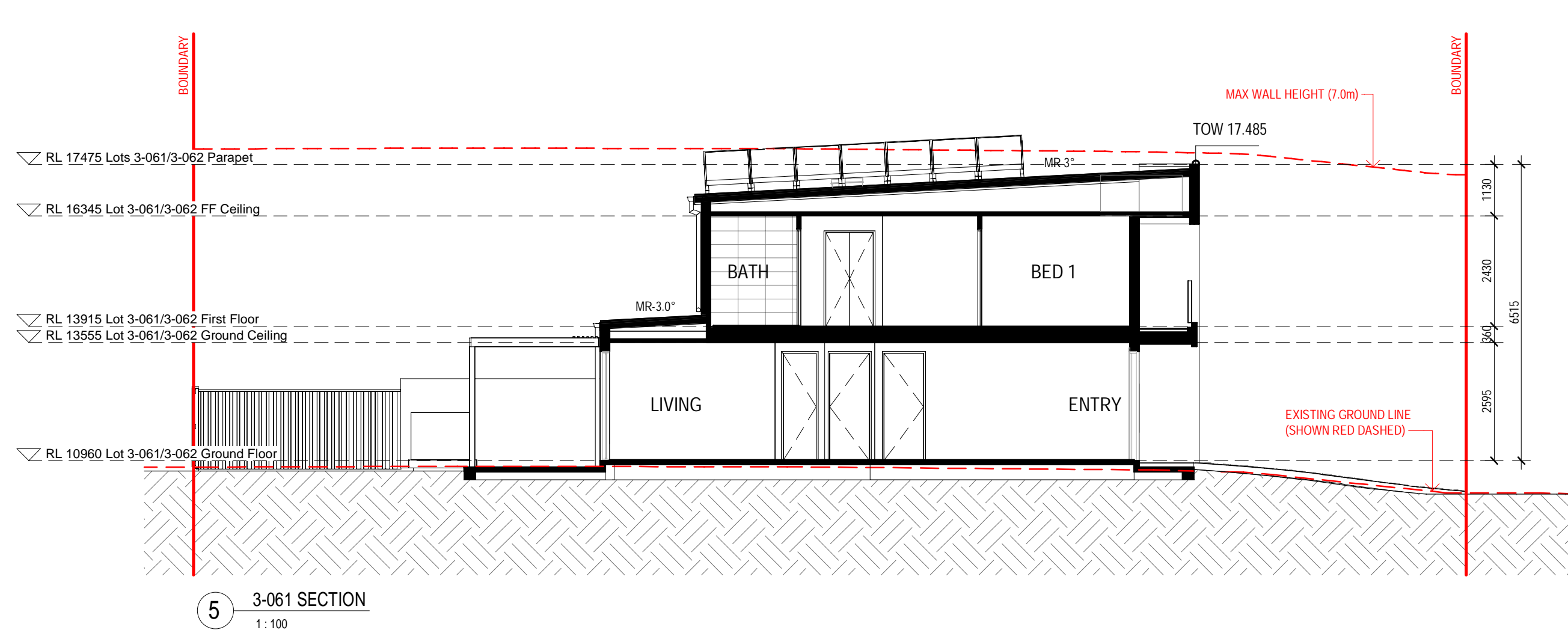
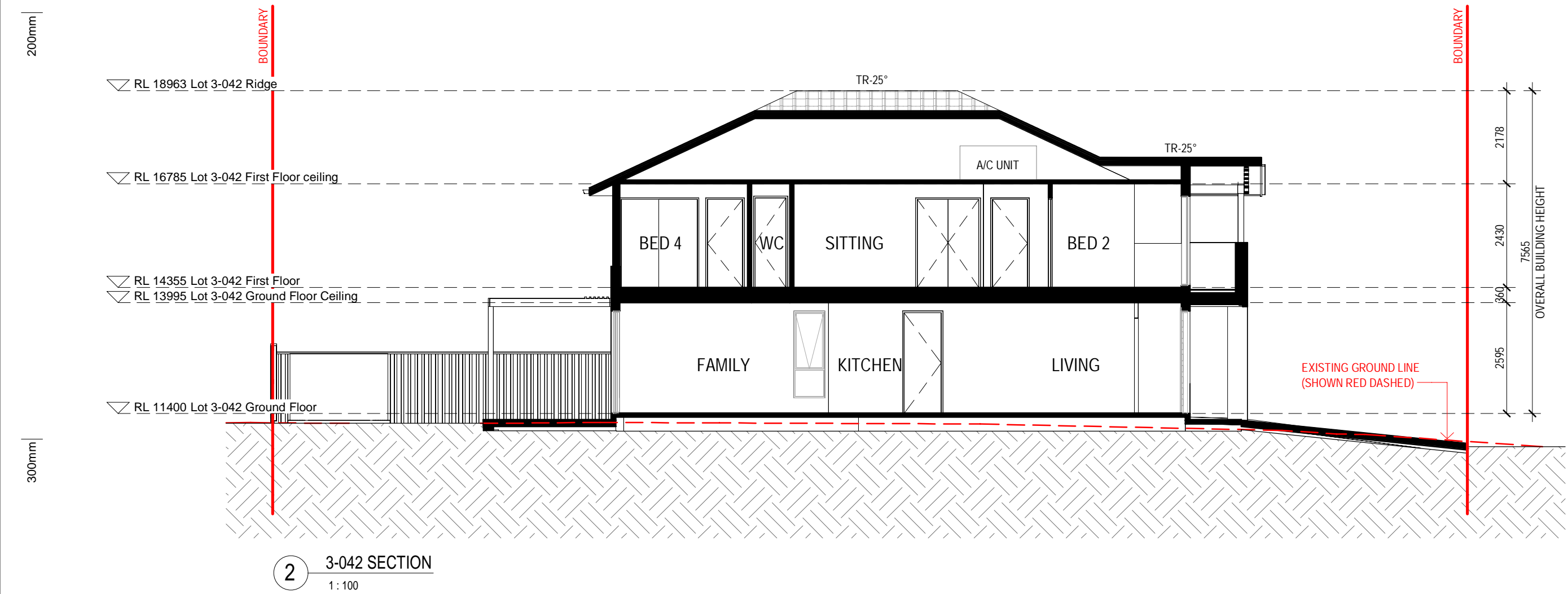
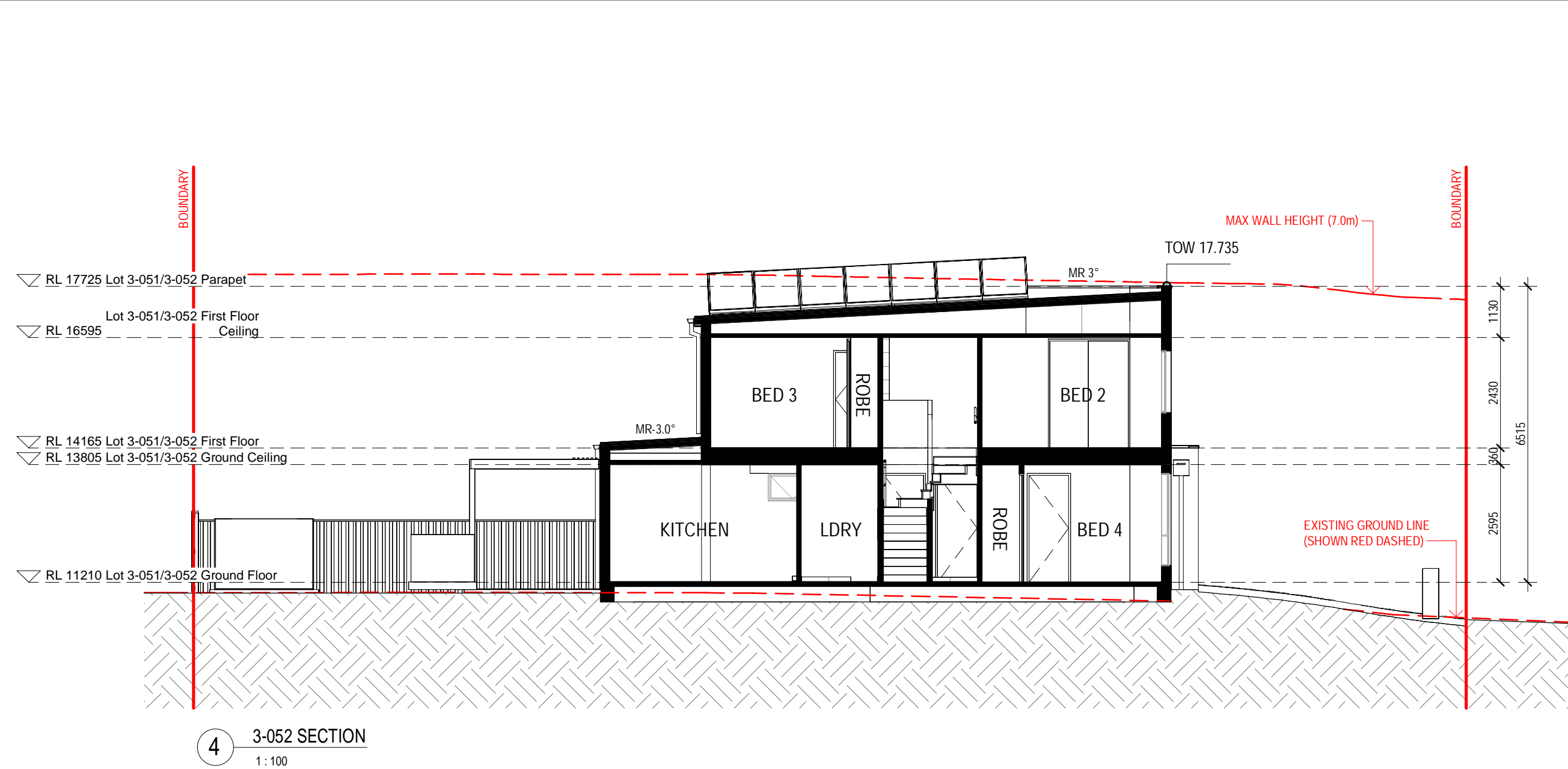
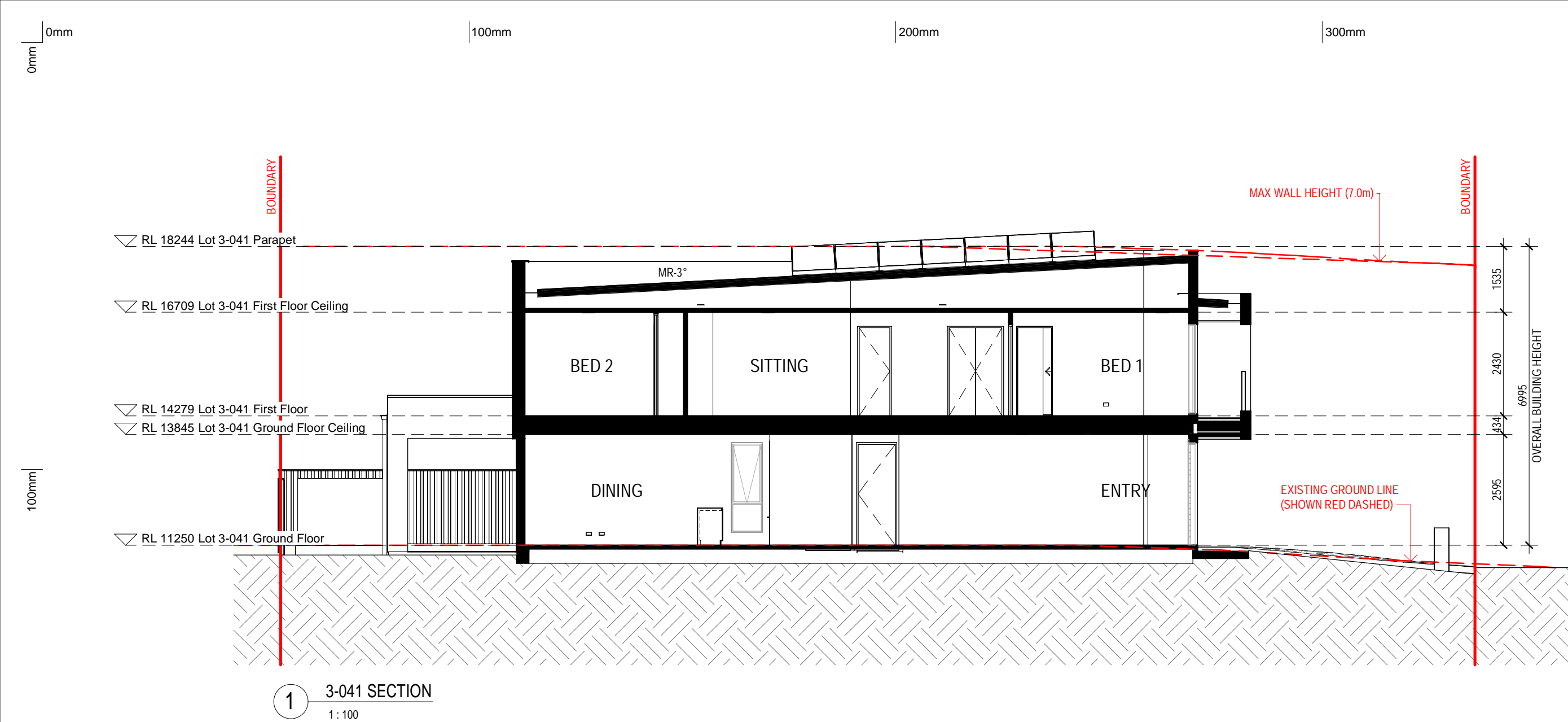
1 : 100



2

STREETSCAPES 3-041

1 : 100



ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES ALL FINISHES INDICATED ONLY EXCEPT TO INDICATE SCHEDULE WALL TYPE & FINISH	
FBW	FACE BRICKWORK
RBRW	RENDERED BRICK WORK
RHBP	RENDERED HIBEL PANEL
RBBB-40	RENDERED RECESSED BRICK
LCW	RENDERED LIGHTWEIGHT CLADDING
LCWT	CORNER RATTEN CLADDING
LCWC	LIGHTWEIGHT CLADDING - VERTICAL RIBBON LOOK
LCWS	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LCW	FLY-WEAVE CLADDING
FE	FEATHER CLADDING
DS	DRESSED STONE
ABBREVIATIONS	
BAL	BAULSTRADE - 100mm HIGH MIN
DEB	DROP EDGE BEAM TO EXTERIOR'S STEP
DOW	DOWNS PIPE
SP	SPEAR PIPE & SPREADER
DP	DOW PIPE 100 DAVE
EXH	EXHAUST VENT TO EAVE
EXH	EXHAUST VENT TO GABLE
EXH	EXHAUST VENT TO ROOF
FCR	FINISHED GROUND LINE
CS	CAS METER
CG	CANTER GARDEN
BAL	BAULSTRADE
HWU	INSTANTaneous GAS HOT WATER UNIT
MR	METER BOX
MB	METAL ROOF - PITCHES NOTED
NL	NATURAL CLADDING
Q/A	OVERALL EAVE DIMENSION INCLUDING PASCIA
TR	TIMBER PITCH NOTED
TR	TIMBER PITCH NOTED
TR	PITCHED ROOF - PITCHES NOTED
PG	PEELOE GABLE TO DETAIL
VC	VERTICAL JUNG
WCL	WALL MOUNTED CLOTHES LINE
PRELIMINARY CONSTRUCTION DEVICE INTERNAL FINISHES INTERNAL FINISHES	

BALUSTRADE NOTES:

INTERNAL STAIRS:
BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.

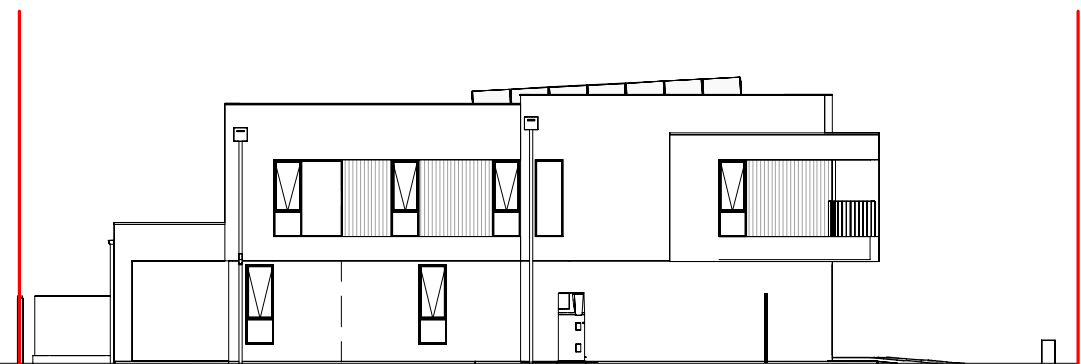
EXTERNAL BALUSTRADES:
ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS

WINDOW NOTE:
WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 125MM MAX.

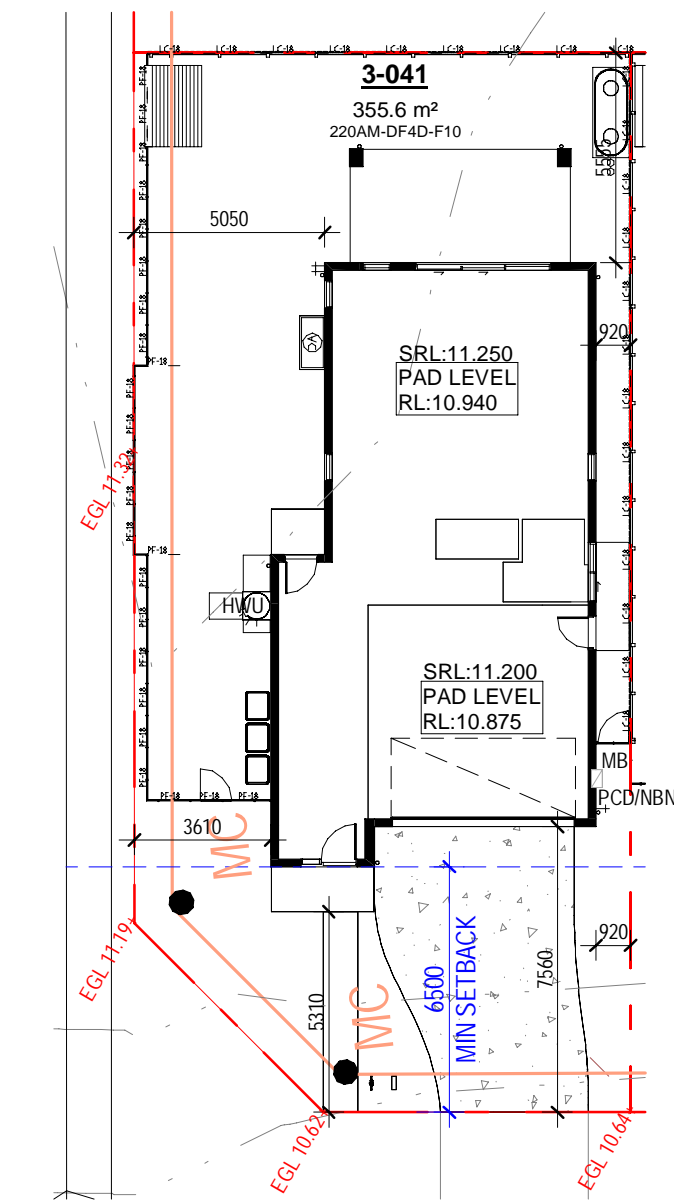
ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.



1 LOT 3-041 FRONT
1: 200



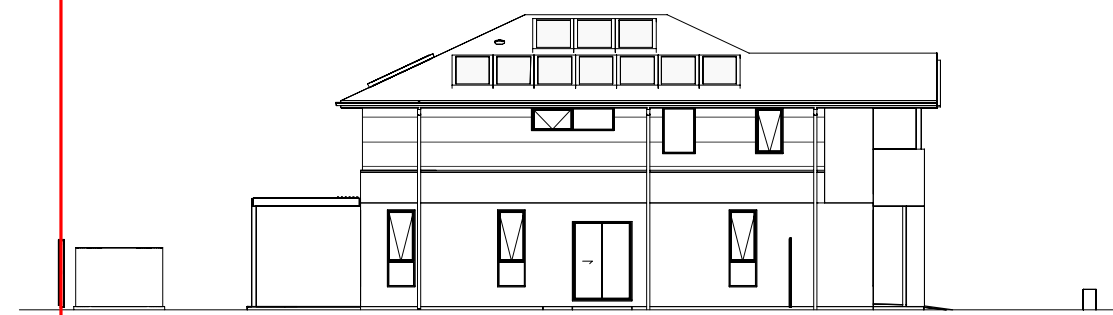
3 LOT 3-041 SIDE
1: 200



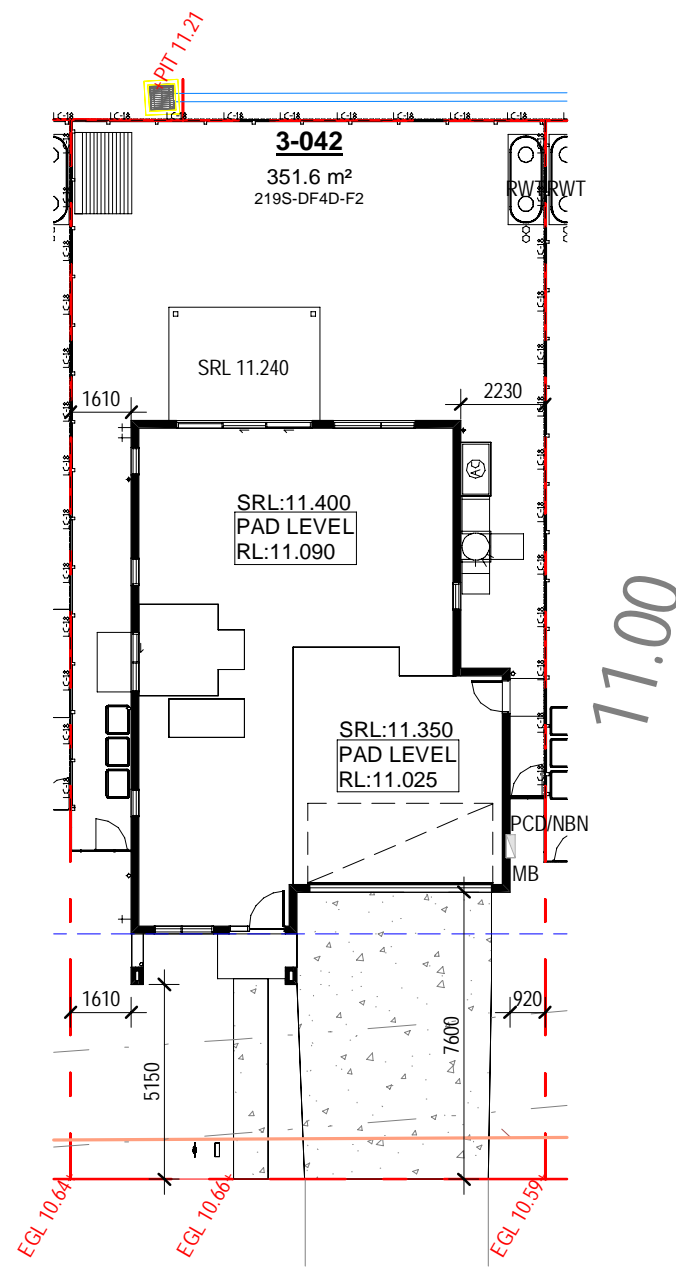
5 NOTIFICATION PLAN - Lot 3-041
1: 200



6 LOT 3-042 FRONT
1: 200



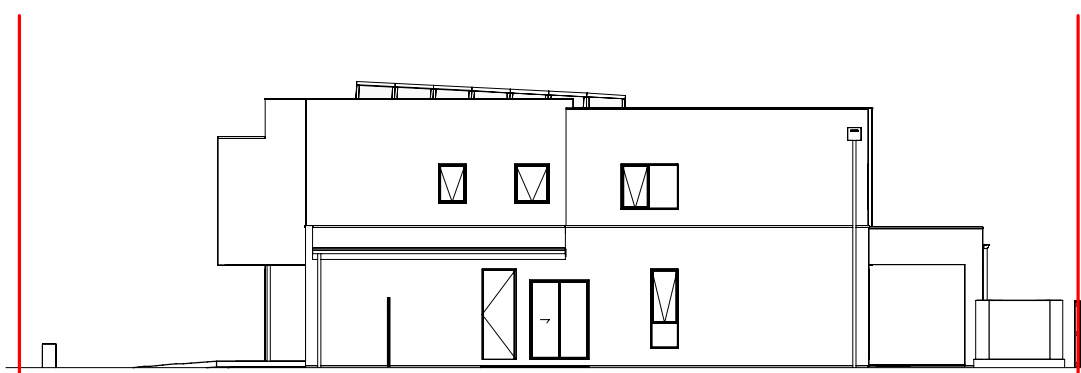
8 LOT 3-042 SIDE
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10 NOTIFICATION PLAN - Lot 3-042
1: 200



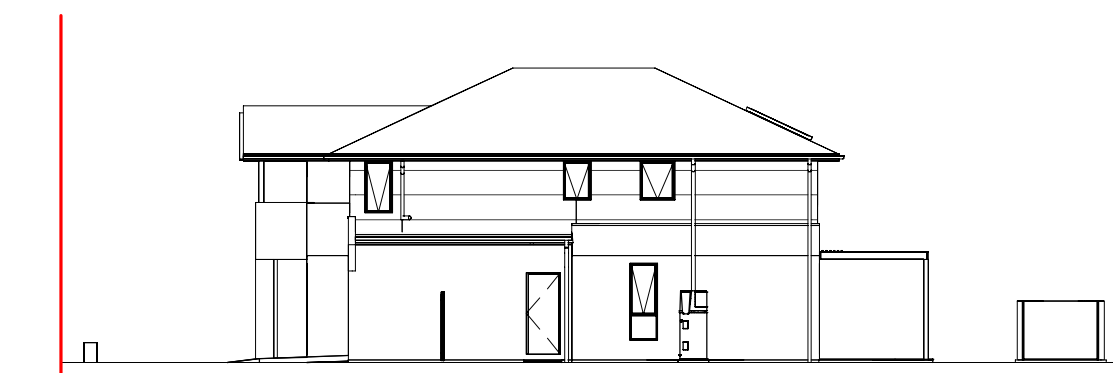
2 LOT 3-041 REAR
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4 LOT 3-041 SIDE B
1: 200



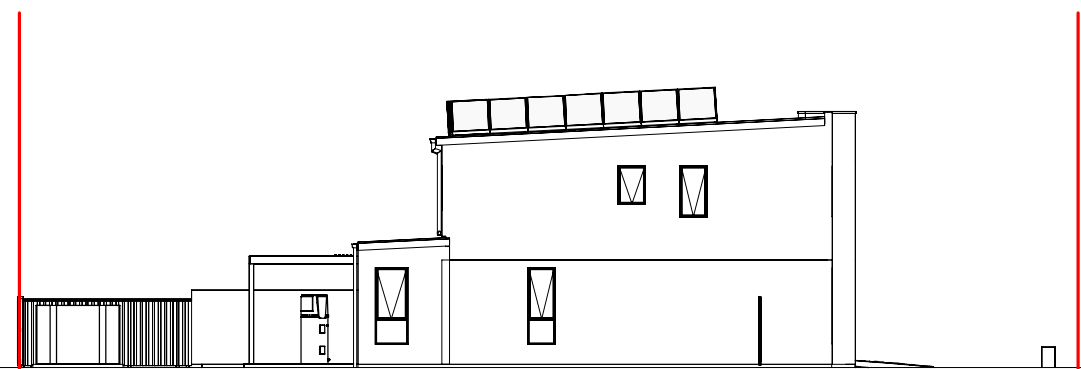
7 LOT 3-042 REAR
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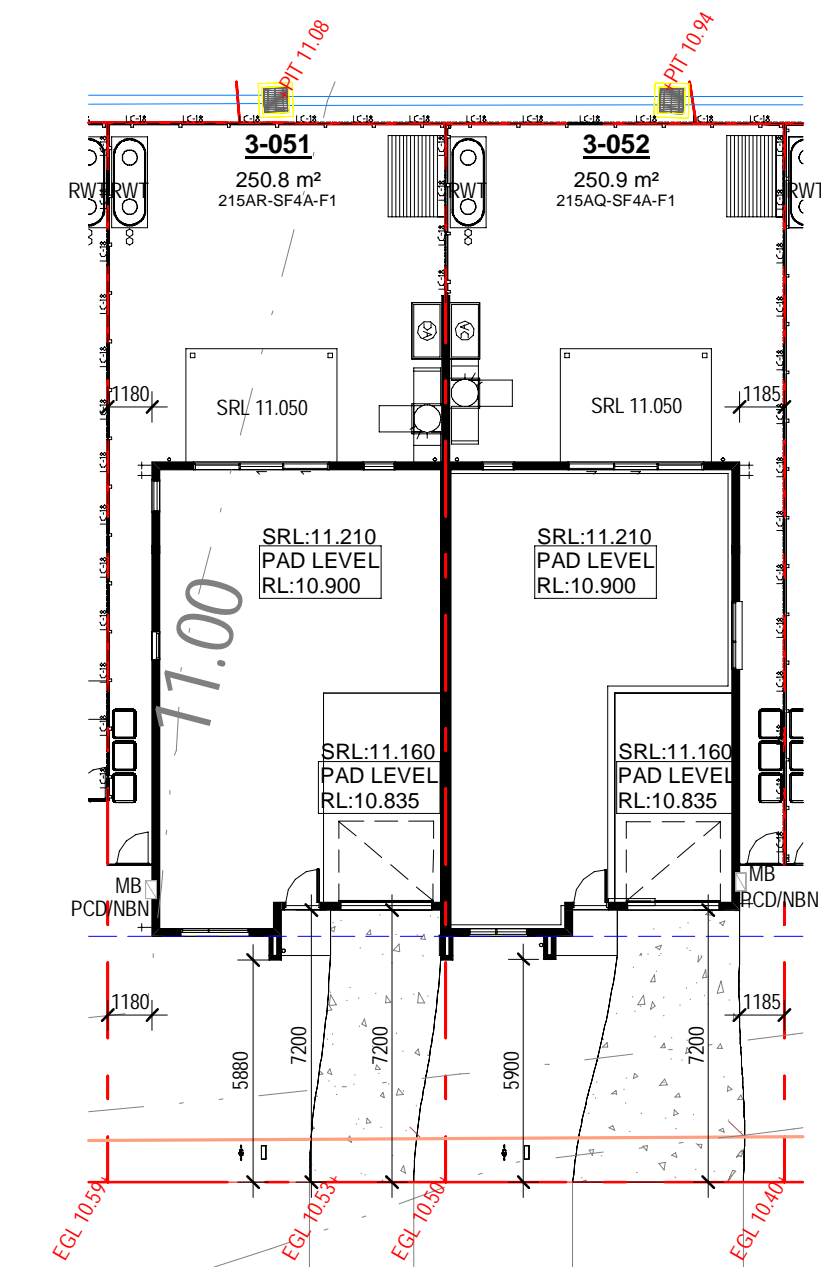
9 LOT 3-042 SIDE B
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11 LOT 3-051 - 3-052 FRONT
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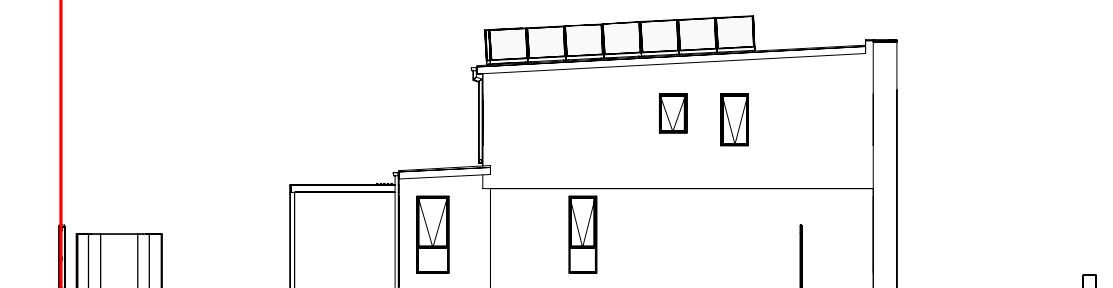
13 LOT 3-051 - 3-052 SIDE
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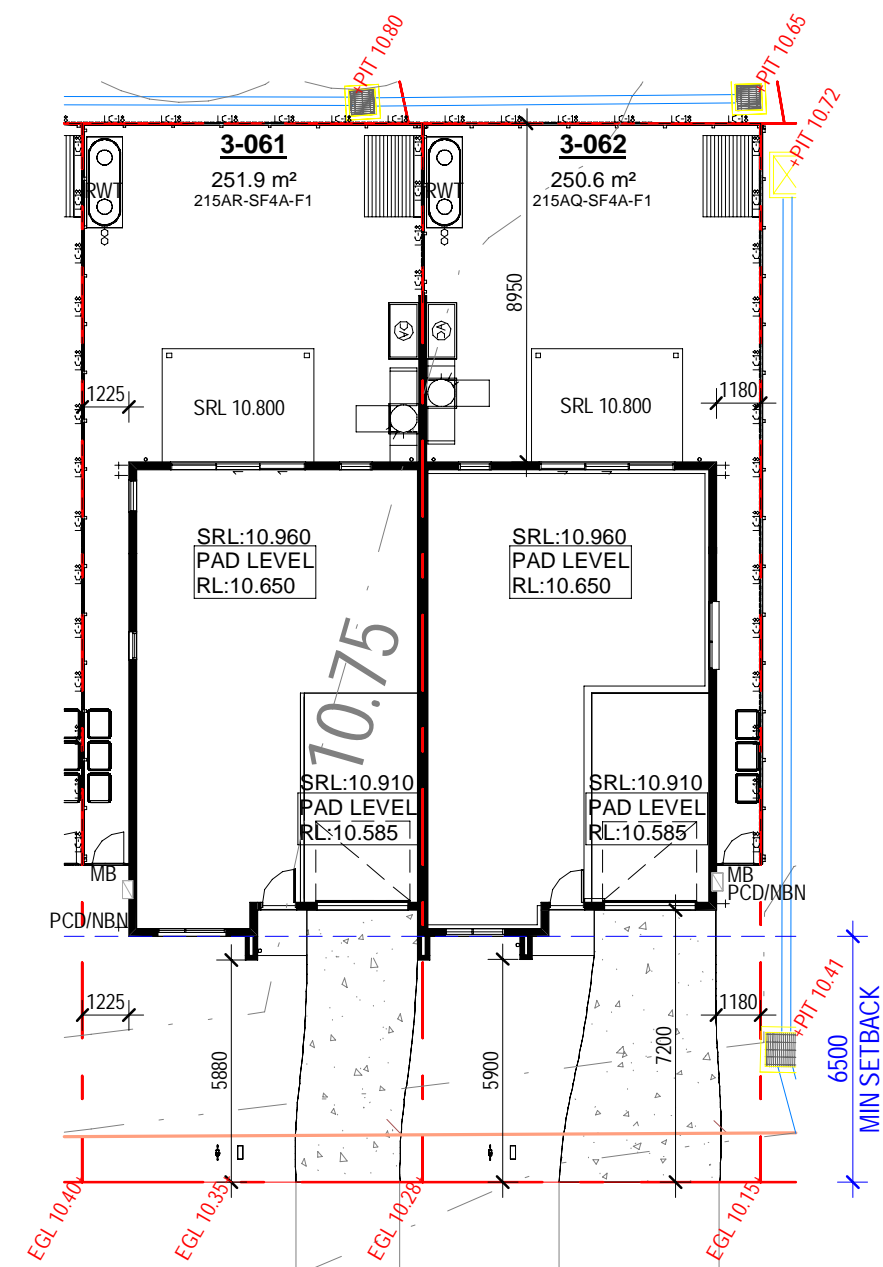
15 NOTIFICATION PLAN - Lot 3-051/52
1: 200



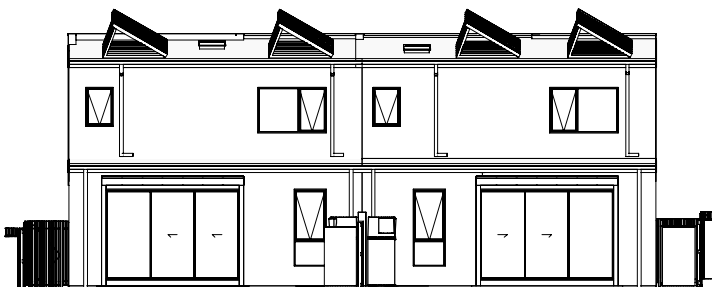
16 LOT 3-061 - 3-062 FRONT
1: 200



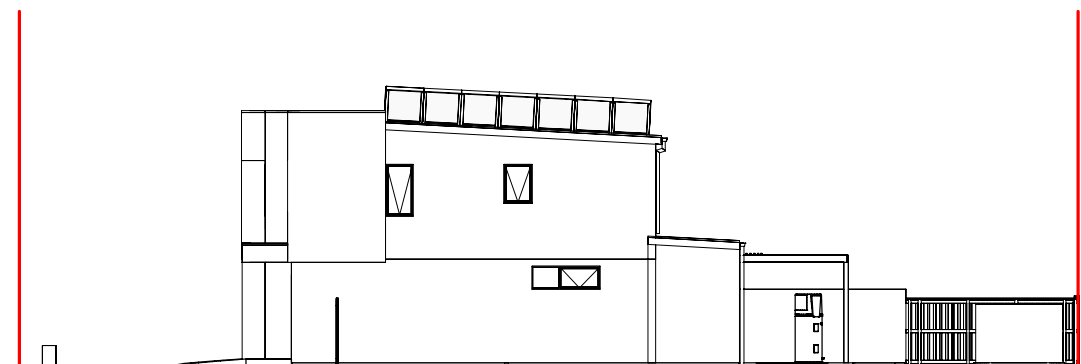
18 LOT 3-061 - 3-062 SIDE
1: 200



20 NOTIFICATION PLAN - Lot 3-061/62
1: 200



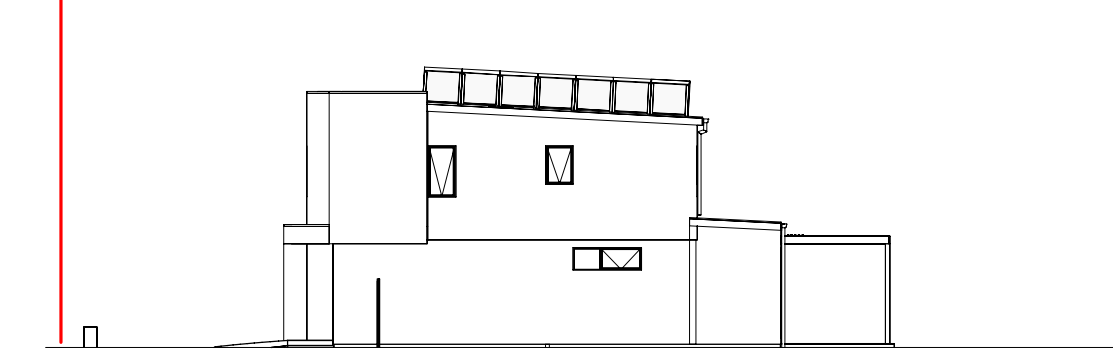
12 LOT 3-051 - 3-052 REAR
1: 200



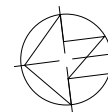
14 LOT 3-051 - 3-052 SIDE B
1: 200

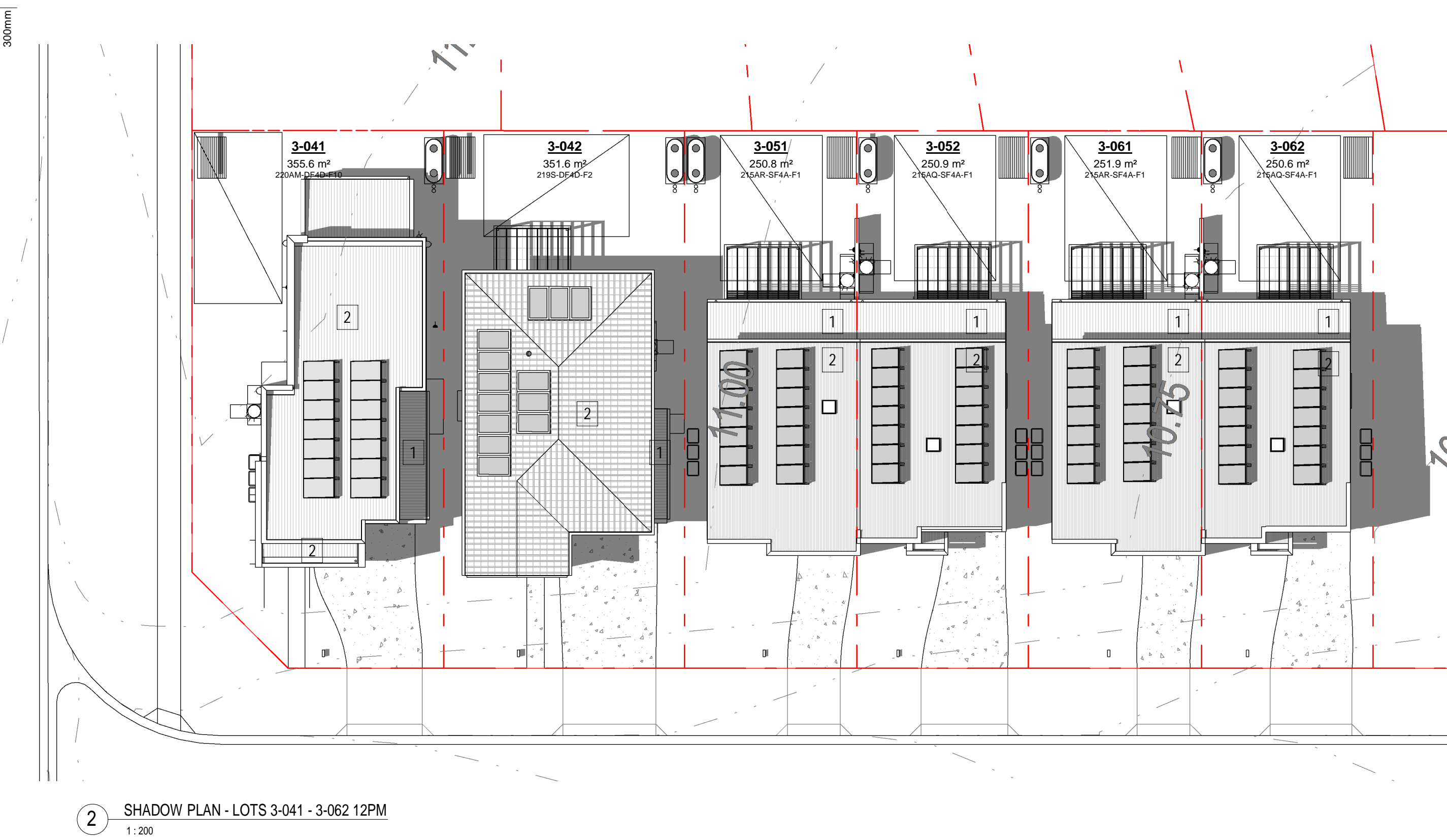
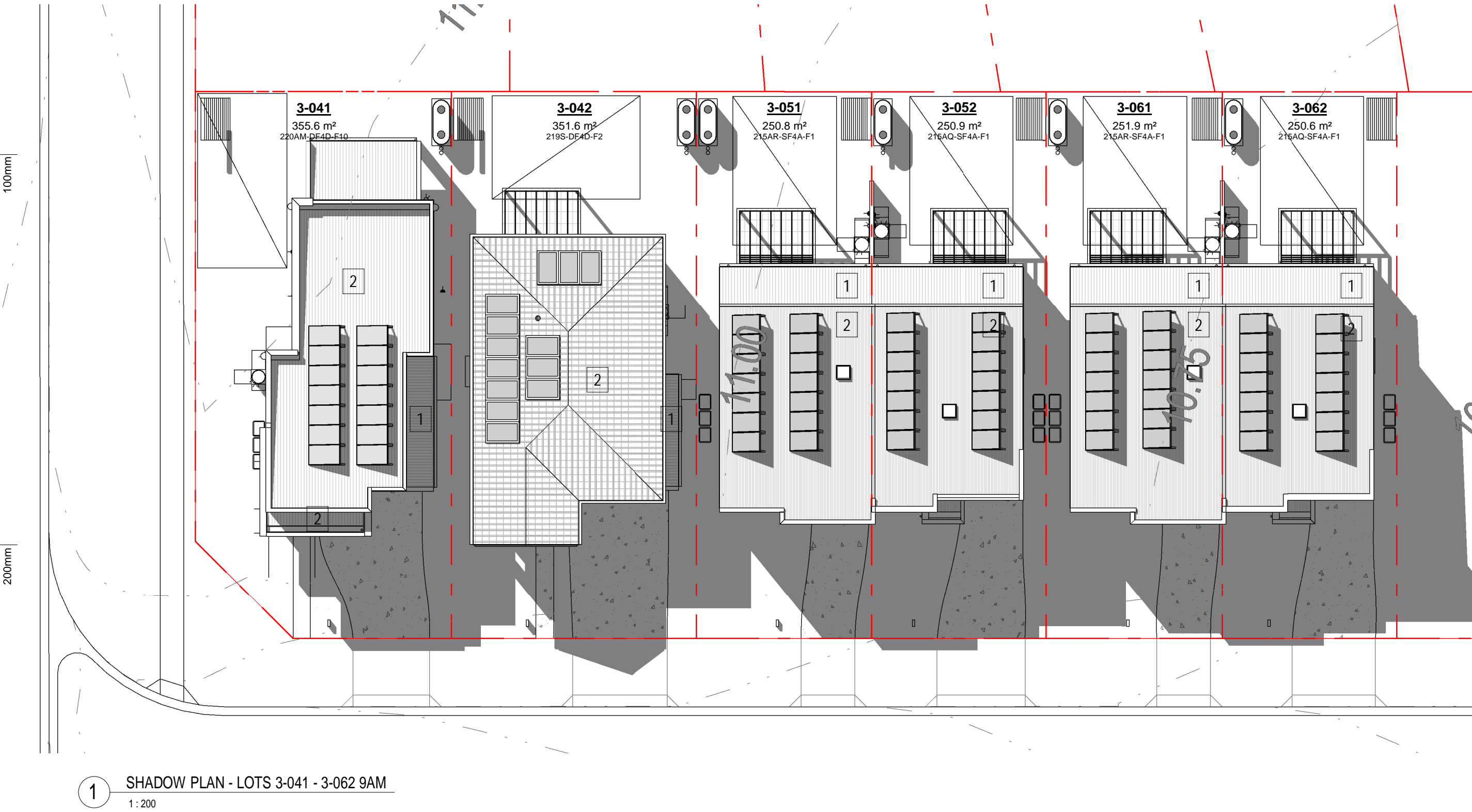
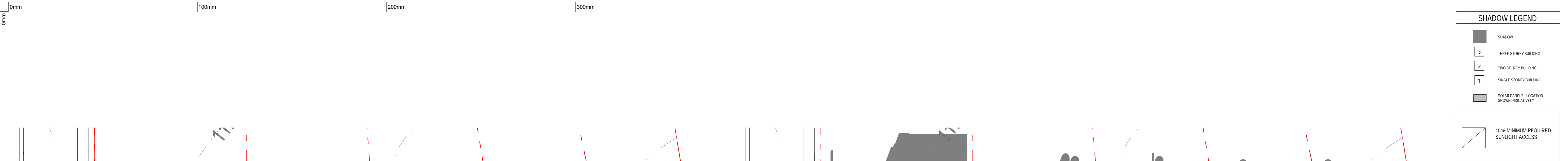


17 LOT 3-061 - 3-062 REAR
1: 200



19 LOT 3-061 - 3-062 SIDE B
1: 200





		SOLAR COVERAGE IN PPOS									
0_Lot No	House Type	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	Solar Compliance*
3-041	220AM-DF4D-F10	95.0 m²	94.4 m²	75.2 m²	71.9 m²	64.76 m²	57.3 m²	54.7 m²	49.4 m²	40.4 m²	Yes
3-042	219S-DF4D-F2	96.6 m²	95.6 m²	90.8 m²	73.8 m²	52.58 m²	27.9 m²	6.1 m²	12.6 m²	19.1 m²	Yes
3-051	215AR-SF4A-F1	80.2 m²	80.2 m²	78.6 m²	71.3 m²	61.71 m²	49.6 m²	28.7 m²	12.4 m²	10.4 m²	Yes
3-052	215AQ-SF4A-F1	75.0 m²	74.8 m²	74.6 m²	69.9 m²	62.03 m²	50.0 m²	23.5 m²	0.0 m²	10.7 m²	Yes
3-061	215AR-SF4A-F1	80.6 m²	80.6 m²	80.6 m²	76.3 m²	68.35 m²	55.1 m²	30.6 m²	7.4 m²	10.6 m²	Yes
3-062	215AQ-SF4A-F1	75.4 m²	75.2 m²	75.2 m²	70.7 m²	63.35 m²	52.0 m²	26.5 m²	0.0 m²	10.5 m²	Yes

* DCP REQUIREMENT :
A MINIMUM OF 50% OF THE PRIVATE OPEN SPACE
REQUIRED FOR THE PRINCIPAL DWELLING ON ADJOINING
LOT TO RECEIVE AT LEAST 3HOURS OF SUNLIGHT BETWEEN
9am AND 5pm AT THE EQUINOX



0mm

100mm

200mm

300mm

100mm

200mm

300mm

1 Sun eye view - 21 Jun - 08_00 AM

2 Sun eye view - 21 Jun - 09_00 AM

DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



1 Sun eye view - 21 Jun - 10_00 AM



2 Sun eye view - 21 Jun - 11_00 AM

DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



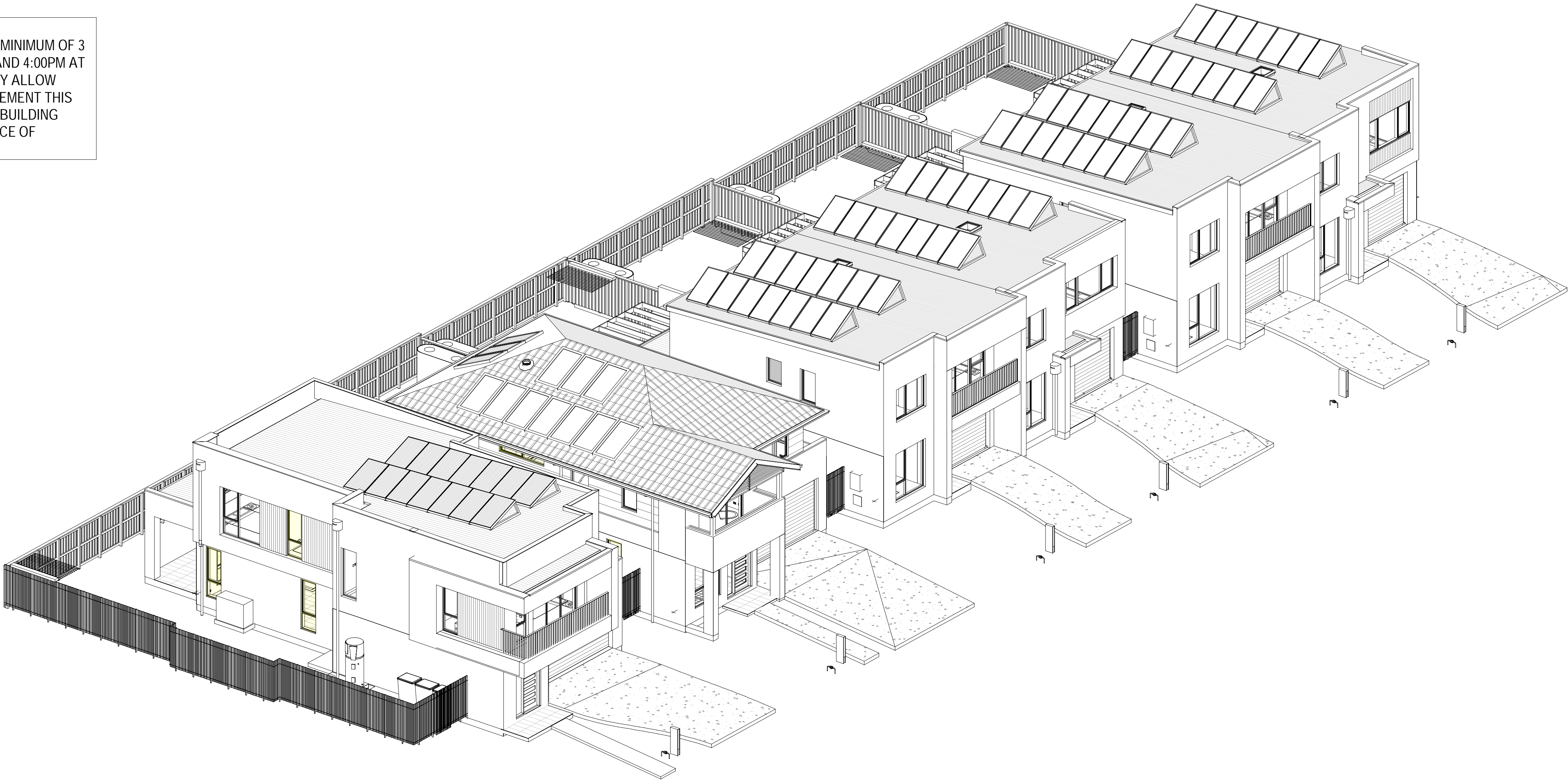
1 Sun eye view - 21 Jun - 12_00 PM

DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.

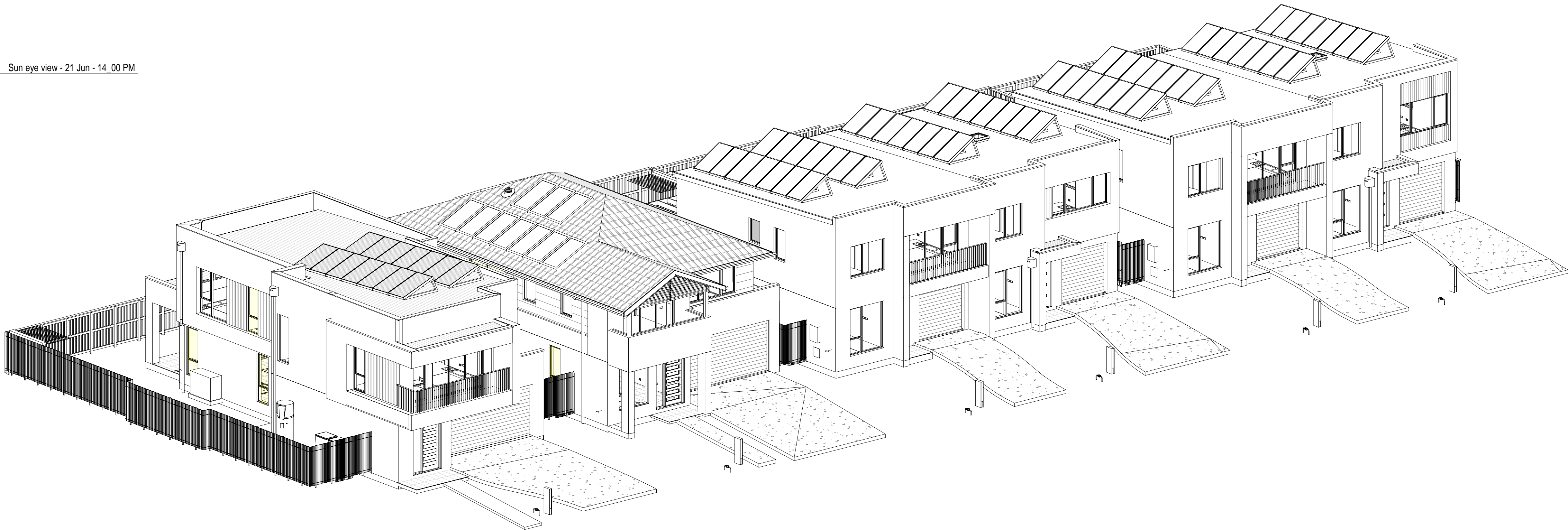


2 Sun eye view - 21 Jun - 13_00 PM

DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



1 Sun eye view - 21 Jun - 14_00 PM



2 Sun eye view - 21 Jun - 15_00 PM

01.04.2025	B	ISSUED FOR DA	
17.03.2025	A	ISSUED FOR BASIX ASSESSMENT	
6/8/	rev		amendment

MIRVAC DESIGN
Lived 28 289 George St
Sydney NSW 2000
Tel: 02 9550 8000
Mirvac Design Pty Ltd
ABN 70 027 929 737
Mirvac Design Nomination / Responsible Architects
Arlia Verma Michael Wilmer David Hinch Andrew La
https://www.mirvacdesign.com/nominees-architects

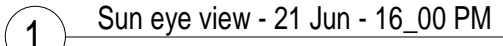


project:
RIVERLANDS - MILPERRA
Address: 56 Prescott Parade, Milperra NSW 2214
Stage: 1 Site: 3B Lot:
Model Type:

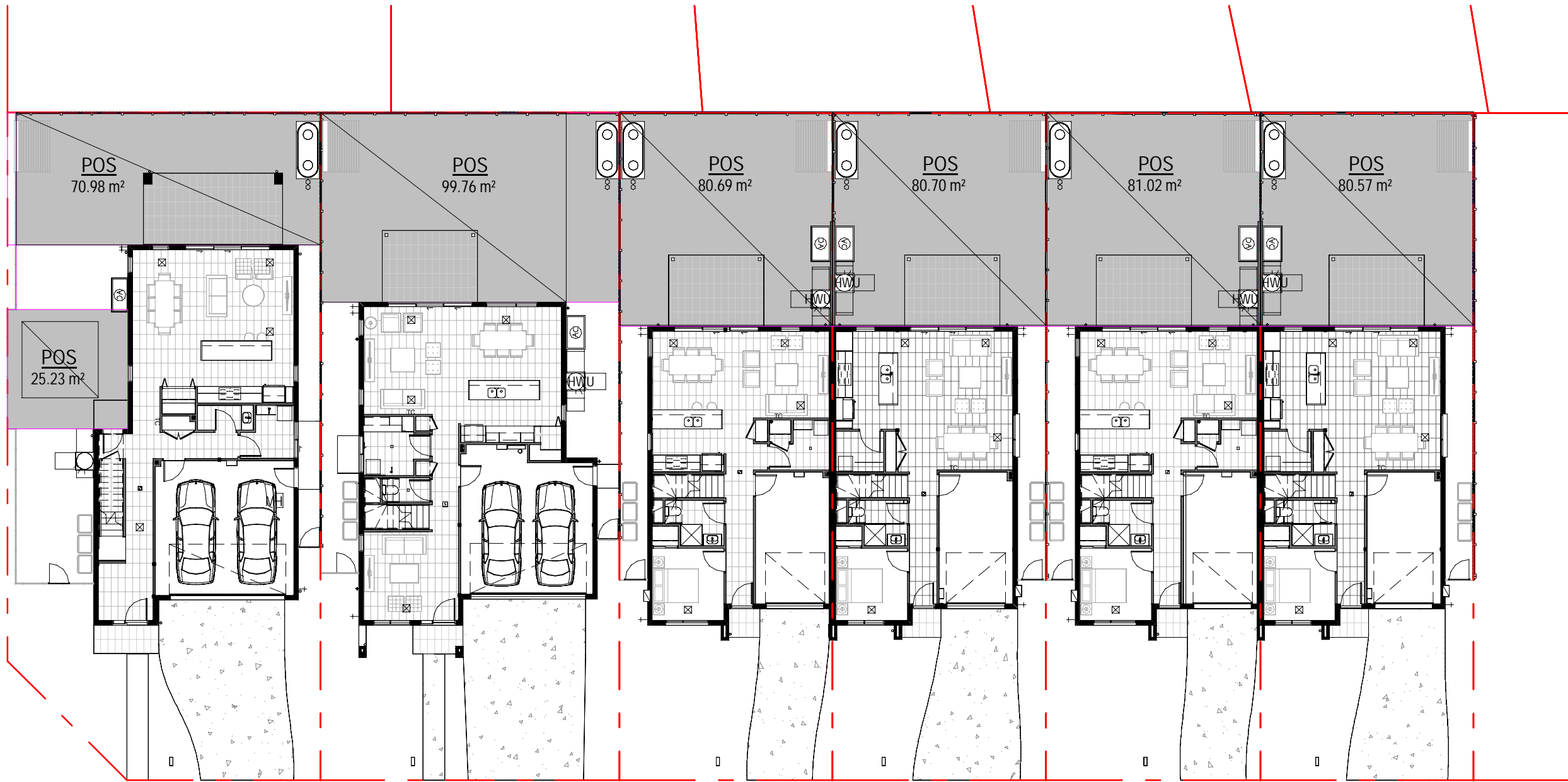
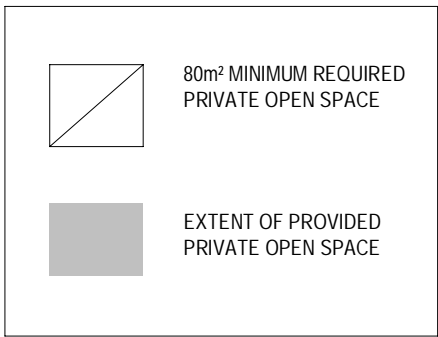
title:
SUN EYE VIEW - 21 JUNE - 2 / 3PM

job no: MB-10245
drawing no: 413
scale @ A1 :
date: 01.04.2025

rev: B



01.04.2025	B	ISSUED FOR DA	
17.03.2025	A	ISSUED FOR BASIX ASSESSMENT	
date	rev		amendment



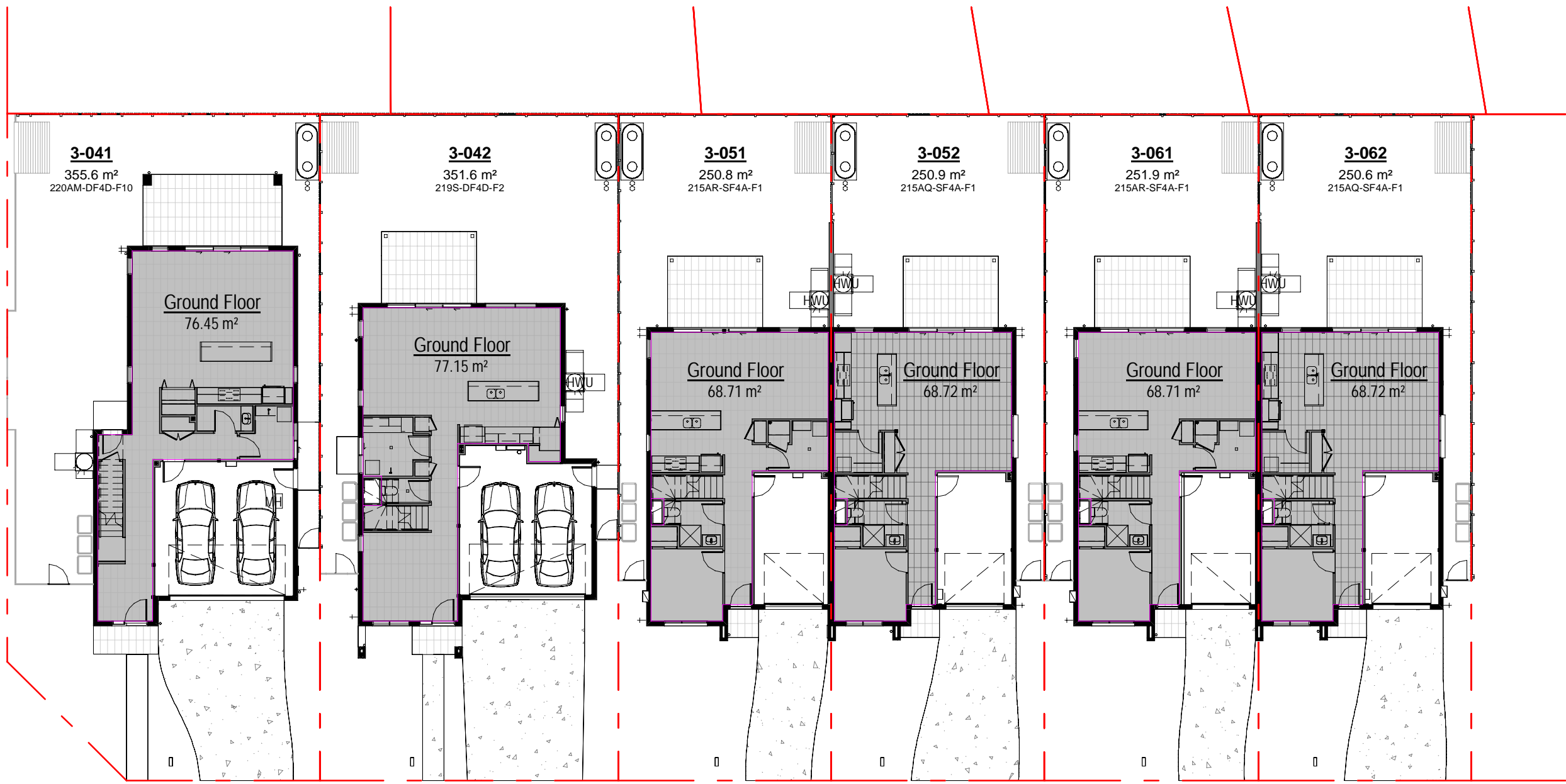
AREA SCHEDULE - TOTAL POS	
Lot No	POS Area
3-041	96.2 m²
3-042	99.8 m²
3-051	80.7 m²
3-052	80.7 m²
3-061	81.0 m²
3-062	80.6 m²

Site 3B - FRONT LANDSCAPED AREA SCHEDULE				
Lot Number	Frontyard Area	Landscaped Frontyard Area	Landscaped Frontyard (min 45%)	Complies (min 45%)
3-041	85.10 m²	44.27 m²	52.02%	Yes
3-042	91.90 m²	48.78 m²	53.08%	Yes
3-051	61.50 m²	40.96 m²	66.61%	Yes
3-052	61.60 m²	34.36 m²	55.78%	Yes
3-061	61.90 m²	41.35 m²	66.80%	Yes
3-062	61.60 m²	35.11 m²	56.99%	Yes

Site 3B - LANDSCAPED AREA SCHEDULE				
Lot Number	Lot_Area	Soft Landscape Area	Landscaped Area Provided (%)	Complies
3-041	355.6 m²	173.77 m²	48.87%	Yes
3-042	351.6 m²	170.27 m²	48.43%	Yes
3-051	250.8 m²	121.79 m²	48.56%	Yes
3-052	250.9 m²	115.25 m²	45.93%	Yes
3-061	251.9 m²	122.96 m²	48.81%	Yes
3-062	250.6 m²	115.80 m²	46.21%	Yes

1 PRIVATE OPEN SPACE - LOTS 3-041 - 3-062
1: 200



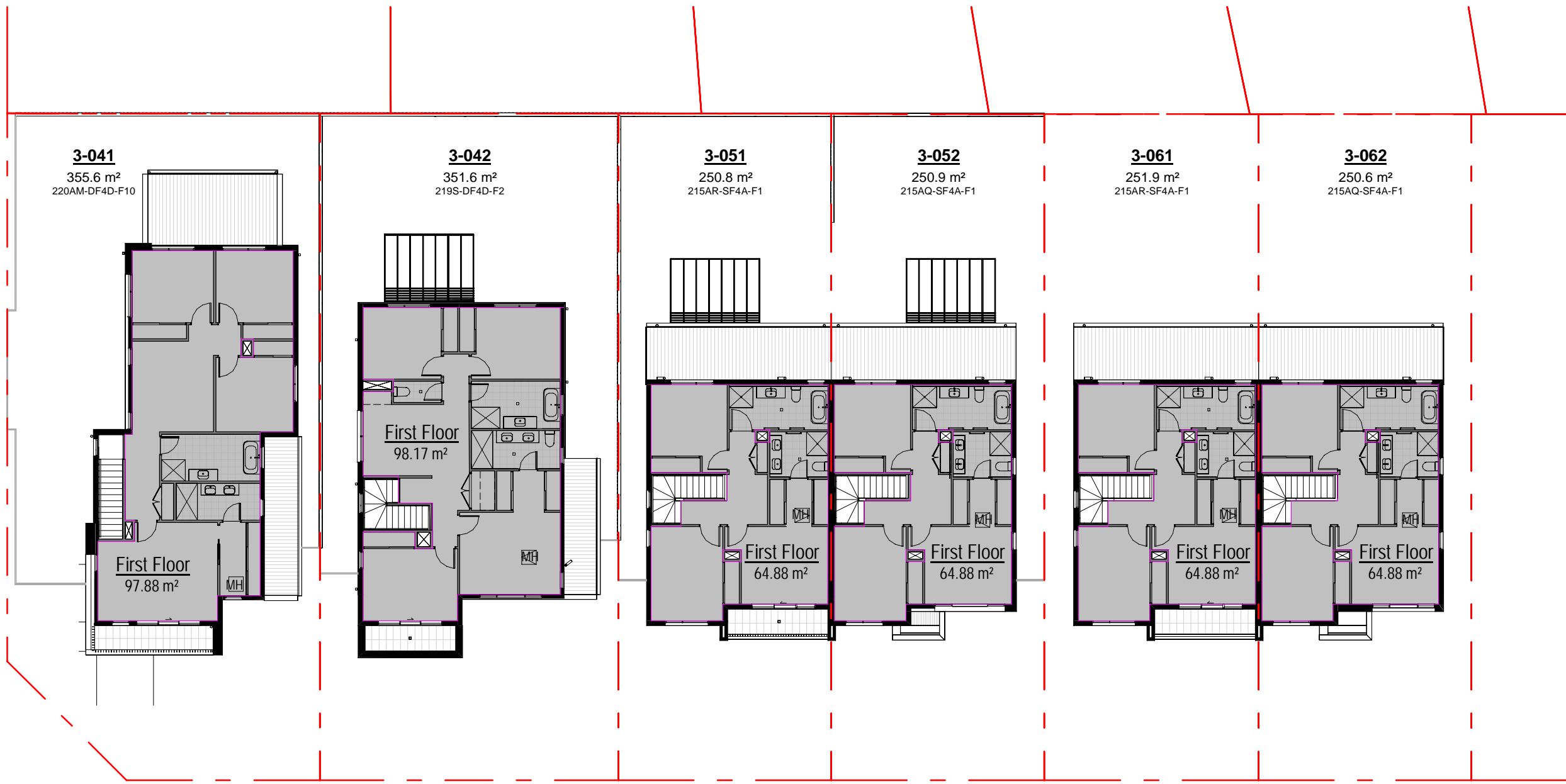


NOTE:

- AREAS INCLUDED ON FSR CALCULATIONS IS SHOWN AS GREY SHADING ON SHEET FSR / GFA AREA PLANS

1 FSR / GFA GROUND FLOOR AREA PLAN - Lot 3-041 - 3-062
1 : 200

Site 3B - FSR Calculation.			
Lot No.	Lot_Area	Total Area*	FSR
3-041	355.6 m²	174.3 m²	49.02%
3-042	351.6 m²	175.3 m²	49.86%
3-051	250.8 m²	133.6 m²	53.27%
3-052	250.9 m²	133.6 m²	53.24%
3-061	251.9 m²	133.6 m²	53.04%
3-062	250.6 m²	133.6 m²	53.31%



2 FSR / GFA FIRST FLOOR AREA PLAN - Lot 3-041 - 3-062
1 : 200



0mm

100mm

200mm

300mm

LOT - 3-041 (THERMAL PERFORMANCE)
Construction general

Floors
85mm Concrete | 225mm Waffle
Framed Suspended Floor | Uninsulated
Framed Suspended Floor | R4.0 Insulation

External Walls
WDF | AAC Panel | R2.7 Insulation | No Wrap
WDF | AAC Panel | Uninsulated | No Wrap
WDF | AAC/Framed/AAC | R2.7 Insulation | No Wrap

Refer to Plans/Drawings for the location of external walls.

External Colour
Multiple Wall Colours: See Schedule/Drawings

Walls within dwellings
WDF INT | Plasterboard Stud Wall | Uninsulated | No Wrap
WDF INT | Plasterboard Stud Wall | R2.5 Insulation | No Wrap

Internal wall insulation: Garage, Laundry and Bathroom walls only

Glazing Doors / Windows
Standard Single Glazing - Sidelight/s U-5.40 / SHGC 0.63 - 1.39
Standard Single Glazing - Hinged Door U-5.40 / SHGC 0.56 - 0.88
Standard Double Glazing - Sliding Door U-3.86 / SHGC 0.59 - 18.40
Standard Double Glazing - Awning Window U-3.80 / SHGC 0.51 - 21.48
Standard Double Glazing - Fixed Window U-3.06 / SHGC 0.67 - 1.49

Window frame colour
Dark

Roof and Ceilings
Ceiling with Floor Above - None
Metal Roof OR Tiled Roof w/Sarking - None
Metal Roof OR Tiled Roof w/Sarking - R6.0

Ceiling Insulation to the House Area only

External Colour
Light roof colour

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

BASIX Inclusions

Site details
- Lot number - 3-041
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures

- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Rain tank

- 2000L connected to garden, toilets, and laundry
- Collecting from 50m2 roof area
- Connected to garden, toilets and laundry

Energy

Hot water system
- Electric heat pump

Heating and cooling

- Three phase AC
- EER 3.0 - 3.5 cooling
- EER 3.5 - 4.0 heating

Lighting

- Energy efficient lighting throughout

Ventilation

- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Natural ventilation only

Other

- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOT - 3-042 (THERMAL PERFORMANCE)
Construction general

Floors
85mm Concrete | 225mm Waffle
Framed Suspended Floor | Uninsulated
Framed Suspended Floor | R4.0 Insulation

External Walls
WDF | AAC Panel | R2.7 Insulation | No Wrap
WDF | AAC Panel | Uninsulated | No Wrap
WDF | Framed | R2.7 Insulation | No Wrap
WDF | AAC/Framed | R2.7 Insulation | No Wrap
WDF | AAC75/50 | R2.7 Insulation | No Wrap

Refer to Plans/Drawings for the location of external walls.

External Colour
Multiple Wall Colours: See Schedule/Drawings

Walls within dwellings
WDF INT | Plasterboard Stud Wall | Uninsulated | No Wrap
WDF INT | Plasterboard Stud Wall | R2.5 Insulation | No Wrap

Internal wall insulation: Garage, Laundry and Bathroom walls only

Glazing Doors / Windows
Standard Single Glazing - Sidelight/s U-5.40 / SHGC 0.63 - 1.39
Standard Single Glazing - Hinged Door U-5.40 / SHGC 0.56 - 0.82
Standard Double Glazing - Sliding Door U-3.86 / SHGC 0.59 - 17.58
Standard Double Glazing - Awning Window U-3.80 / SHGC 0.51 - 26.39
Standard Double Glazing - Fixed Window U-3.06 / SHGC 0.67 - 1.02

Window frame colour
Dark

Roof and Ceilings
Ceiling with Floor Above - None
Metal Roof OR Tiled Roof w/Sarking - None
Metal Roof OR Tiled Roof w/Sarking - R4.0
Metal Roof OR Tiled Roof w/Sarking - R6.0

Ceiling Insulation to the House Area only

External Colour
Light roof colour

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

BASIX Inclusions

Site details
- Lot number - 3-042
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures

- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Rain tank

- 2000L connected to garden, toilets, and laundry
- Collecting from 50m2 roof area
- Connected to garden, toilets and laundry

Energy

Hot water system
- Electric heat pump

Heating and cooling

- Three phase AC
- EER 3.0 - 3.5 cooling
- EER 3.5 - 4.0 heating

Lighting

- Energy efficient lighting throughout

Ventilation

- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Natural ventilation only

Other

- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOT - 3-051 (THERMAL PERFORMANCE)
Construction general

Floors
85mm Concrete | 225mm Waffle
Framed Suspended Floor | Uninsulated
Framed Suspended Floor | R4.0 Insulation

External Walls
WDF | AAC Panel | Uninsulated | No Wrap
WDF | AAC Panel | R2.7 Insulation | No Wrap
WDF | Partitwall | R2.7 Insulation | No Wrap

Refer to Plans/Drawings for the location of external walls.

External Colour
Multiple Wall Colours: See Schedule/Drawings

Walls within dwellings
WDF INT | Plasterboard Stud Wall | Uninsulated | No Wrap
WDF INT | Plasterboard Stud Wall | R2.5 Insulation | No Wrap

Internal wall insulation: Garage and Bathroom 1 walls only

Glazing Doors / Windows
Standard Double Glazing - Sliding Door U-3.86 / SHGC 0.59 - 12.66
Standard Double Glazing - Awning Window U-3.80 / SHGC 0.51 - 17.41

Window frame colour

Dark

Roof and Ceilings
Ceiling with Floor Above - None
Metal Roof OR Tiled Roof w/Sarking - R4.0
Metal Roof OR Tiled Roof w/Sarking - R6.0
Colorbond Flat or Low-Pitched Roof - R6.0

Ceiling Insulation to the House Area only | R4.0 to the Perimeter

External Colour
Light roof colour

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

BASIX Inclusions

Site details
- Lot number - 3-051
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures

- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Rain tank

- 2000L connected to garden, toilets, and laundry
- Collecting from 50m2 roof area
- Connected to garden, toilets and laundry

Energy

Hot water system
- Electric heat pump

Heating and cooling

- Three phase AC
- EER 3.0 - 3.5 cooling
- EER 3.5 - 4.0 healing

Lighting

- Energy efficient lighting throughout

Ventilation

- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Natural ventilation only

Other

- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOT - 3-052 (THERMAL PERFORMANCE)
Construction general

Floors
85mm Concrete | 225mm Waffle
Framed Suspended Floor | Uninsulated
Framed Suspended Floor | R4.0 Insulation

External Walls
WDF | AAC Panel | Uninsulated | No Wrap
WDF | AAC Panel | R2.7 Insulation | No Wrap
WDF | Partitwall | R2.7 Insulation | No Wrap

Refer to Plans/Drawings for the location of external walls.

External Colour
Multiple Wall Colours: See Schedule/Drawings

Walls within dwellings
WDF INT | Plasterboard Stud Wall | Uninsulated | No Wrap
WDF INT | Plasterboard Stud Wall | R2.5 Insulation | No Wrap

Internal wall insulation: Garage and Bathroom 1 walls only

Glazing Doors / Windows
Standard Double Glazing - Sliding Door U-3.86 / SHGC 0.59 - 19.47
Standard Double Glazing - Awning Window U-3.80 / SHGC 0.51 - 3.76

Window frame colour

Dark

Roof and Ceilings
Ceiling with Floor Above - None
Metal Roof OR Tiled Roof w/Sarking - R4.0
Metal Roof OR Tiled Roof w/Sarking - R6.0
Colorbond Flat or Low-Pitched Roof - R6.0

Ceiling Insulation to the House Area only | R4.0 to the Perimeter

External Colour
Light roof colour

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

BASIX Inclusions

Site details
- Lot number - 3-052
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures

- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Rain tank

- 2000L connected to garden, toilets, and laundry
- Collecting from 50m2 roof area
- Connected to garden, toilets and laundry

Energy

Hot water system
- Electric heat pump

Heating and cooling

- Three phase AC
- EER 3.0 - 3.5 cooling
- EER 3.5 - 4.0 heating

Lighting

- Energy efficient lighting throughout

Ventilation

- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Natural ventilation only

Other

- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOT - 3-061 (THERMAL PERFORMANCE)
Construction general

Floors
85mm Concrete | 225mm Waffle
Framed Suspended Floor | Uninsulated
Framed Suspended Floor | R4.0 Insulation

External Walls
WDF | AAC Panel | Uninsulated | No Wrap
WDF | AAC Panel | R2.7 Insulation | No Wrap
WDF | Partitwall | R2.7 Insulation | No Wrap

Refer to Plans/Drawings for the location of external walls.

External Colour
Multiple Wall Colours: See Schedule/Drawings

Walls within dwellings
WDF INT | Plasterboard Stud Wall | Uninsulated | No Wrap
WDF INT | Plasterboard Stud Wall | R2.5 Insulation | No Wrap

Internal wall insulation: Garage and Bathroom 1 walls only

Glazing Doors / Windows
Standard Double Glazing - Sliding Door U-3.86 / SHGC 0.59 - 12.66
Standard Double Glazing - Awning Window U-3.80 / SHGC 0.51 - 17.41

Window frame colour

Dark

Roof and Ceilings
Ceiling with Floor Above - None
Metal Roof OR Tiled Roof w/Sarking - R4.0
Metal Roof OR Tiled Roof w/Sarking - R6.0
Colorbond Flat or Low-Pitched Roof - R6.0

Ceiling Insulation to the House Area only | R4.0 to the Perimeter

External Colour
Light roof colour

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

BASIX Inclusions

Site details
- Lot number - 3-061
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures

- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Rain tank

- 2000L connected to garden, toilets, and laundry
- Collecting from 50m2 roof area
- Connected to garden, toilets and laundry

Energy

Hot water system
- Electric heat pump

Heating and cooling

- Three phase AC
- EER 3.0 - 3.5 cooling
- EER 3.5 - 4.0 heating

Lighting

- Energy efficient lighting throughout

Ventilation

- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Natural ventilation only

Other

- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOT - 3-062 (THERMAL PERFORMANCE)
Construction general

Floors
85mm Concrete | 225mm Waffle
Framed Suspended Floor | Uninsulated
Framed Suspended Floor | R4.0 Insulation

External Walls
WDF | AAC Panel | Uninsulated | No Wrap
WDF | AAC Panel | R2.7 Insulation | No Wrap
WDF | Partitwall | R2.7 Insulation | No Wrap

Refer to Plans/Drawings for the location of external walls.

External Colour
Multiple Wall Colours: See Schedule/Drawings

Walls within dwellings
WDF INT | Plasterboard Stud Wall | Uninsulated | No Wrap
WDF INT | Plasterboard Stud Wall | R2.5 Insulation | No Wrap
WDF | AAC/Framed | R2.7 Insulation | No Wrap

Internal wall insulation: Garage and Bathroom 1 walls only

Glazing Doors / Windows
Standard Double Glazing - Sliding Door U-3.86 / SHGC 0.59 - 19.47
Standard Double Glazing - Awning Window U-3.80 / SHGC 0.51 - 3.76

Window frame colour
Dark

Roof and Ceilings
Ceiling with Floor Above - None
Metal Roof OR Tiled Roof w/Sarking - R4.0
Metal Roof OR Tiled Roof w/Sarking - R6.0
Colorbond Flat or Low-Pitched Roof - R6.0

Ceiling Insulation to the House Area only | R4.0 to the Perimeter

External Colour
Light roof colour

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

BASIX Inclusions

Site details
- Lot number - 3-062
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures

- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Rain tank

- 2000L connected to garden, toilets, and laundry
- Collecting from 50m2 roof area
- Connected to garden, toilets and laundry

Energy

Hot water system
- Electric heat pump

Heating and cooling

- Three phase AC
- EER 3.0 - 3.5 cooling
- EER 3.5 - 4.0 heating

Lighting

- Energy efficient lighting throughout

Ventilation

- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Natural ventilation only

Other

- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

title:
BASIX REQUIREMENTS

job no: MB-10245

drawing no: 720

scale @ A1 :

date: 01.04.2025

rev: B

project:
RIVERLANDS - MILPERRA
Address: 56 Prescot Parade, Milperra NSW 2214
Stage: 1 Site: 3B Lot:
Model Type:

MIRVAC DESIGN

Level 28 280 George St
Sydney NSW 2008
Tel: 002 955 8000

Mirvac Design Pty Ltd
ABN 70 007 959 751

Mirvac Design Nomination / Responsible Architects
Arlis Verma Michael Wilmer David Hirst Andrew La
https://www.mirvacdesign.com/australia/en/office



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